

AGENDA
BIG LAKE PLANNING COMMISSION MEETING
COUNCIL CHAMBERS

JULY 1, 2020

6:00 p.m.

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL** (Members: S. Marotz, K. Green, A. Heidemann, L. Odens, D. Vickerman, S. Zettervall)
- 4. ADOPT PROPOSED AGENDA**
- 5. OPEN FORUM**
- 6. APPROVE MEETING MINUTES**
 - 6A. Approve Regular Planning Commission Meeting Minutes of June 17, 2020
- 7. BUSINESS**
 - 7A. PUBLIC HEARING: Preliminary Plan, Conditional Use Permit and Site Plan for Nystrom Treatment Facility
 - 7B. Candidate Interviews –Planning Commission Vacancy
- 8. PLANNER’S REPORT**
- 9. COMMISSIONERS’ REPORTS**
- 10. OTHER**
- 11. ADJOURN**

Audience Attendance at Meeting during the COVID-19 Pandemic: To participate via Zoom videoconferencing, please contact Recreation and Communication Coordinator Corrie Scott at 612-297-6331, or by email at cscott@biglakemn.org to obtain a meeting Identification and Password. The deadline to obtain a password to join the meeting is 4:00 p.m. the day of the meeting.

Attendance at Meeting: All attendees are expected to follow CDC recommendations ensuring social distancing of at least 6 feet away from other persons. Some members of the Planning Commission may participate in this Meeting via telephone or other electronic means on an as needed basis.

Disclaimer: This agenda has been prepared to provide information regarding an upcoming meeting of the Big Lake Planning Commission. This document does not claim to be complete and is subject to change.

Notice of City Council Quorum: A quorum of the City Council members may be present at this Big Lake Planning Commission meeting beginning at 6:00 p.m. in the City Council Chambers. No action will be taken by the City Council.



AGENDA ITEM

Big Lake Planning Commission

Prepared By: <i>Corrie Scott, Recreation and Communication Coordinator</i>	Meeting Date: 7/1/2020	Item No. 6A
Item Description: <i>June 17, 2020 Planning Commission Regular Meeting Minutes</i>	Reviewed By: <i>Hanna Klimmek, Community Development Director</i>	
	Reviewed By: <i>Amy Barthel, City Planner</i>	

ACTION REQUESTED

Approve the June 17, 2020 Big Lake Planning Commission Regular Meeting Minutes as presented.

BACKGROUND/DISCUSSION

The June 17, 2020 Planning Commission Regular Meeting Minutes are attached for review.

FINANCIAL IMPACT

N/A

STAFF RECOMMENDATION

N/A

ATTACHMENTS

6-17-20 Planning Commission Regular Meeting Minutes

**BIG LAKE PLANNING COMMISSION
REGULAR MEETING MINUTES
WEDNESDAY, JUNE 17, 2020**

1. CALL TO ORDER

Chair Heidemann called the meeting to order at 6:00 p.m.

2. PLEDGE OF ALLEGIENCE

The Pledge of Allegiance was recited.

3. ROLL CALL

Commissioners present: Alan Heidemann, Lisa Odens, Dustin Vickerman via teleconference, Ketti Green, and Scott Zettervall. Commissioners absent: Scott Marotz. Also present: City Planner Amy Barthel, Consultant Planner Kevin Shay, and Community Development Director Hanna Klimmek.

4. ADOPT AGENDA

Commissioner Zettervall moved to adopt the agenda. Seconded by Commissioner Green, unanimous ayes, agenda adopted.

5. OPEN FORUM

Chair Heidemann opened the Open Forum at 6:03 p.m.

Alfred Dubay of 20028 122nd Street NW commented that he is concerned of the housing that is being proposed to be built near his home. He originally thought this was section 8 and is now being made aware that it is low income. He would rather see more businesses being built there rather than housing. He is also concerned that bringing in low income housing will flood the schools with children when he believes they are already overwhelmed with students.

Cam Habeger of 16702 205th Ave commented that he agrees with Alfred Dubay. He grew up in Big Lake and has seen a lot of apartment complexes in the community which he feels is overpopulating the City. He feels that high density housing will negatively impact the school systems and local businesses and it will raise the City's taxes for residents.

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Ralph and Mary Kiffmeyer of 16160 201st Ave commented that he lives near a proposed building. He doesn't feel it is a good idea for low income housing to be built in Big Lake and if it is built, he prefers it be built closer to town.

Rachel Gowdy of 20233 167th Street NW commented that a proposed apartment building is being built near her house. She doesn't mind that it is low income, but she doesn't want apartments built near where she lives. She asked why certain areas have been rezoned to residential from commercial and she asked how many apartments long term will be built on Highway 10. She is concerned that area residents aren't being notified about concept plans for proposed buildings in the Big Lake Township.

David Fox of 20324 167th Street NW commented that he doesn't mind if single family homes are built near him, but he doesn't want to live near apartments as he feels that it will reduce the property values of their homes. He stated that he moved to the country with the intention of staying in the country and that apartments will bring higher tax rates to home owners to pay for increased use of services.

Nora Lewandowski of 20095 170th Street NW commented that she lives in the development that is near a gravel pit that is by the proposed development. She stated that strangers drive their motorcycles in the gravel pit and dump things in it and she fears that if families move near the pit, children will be playing in it. She stated that she sees the roads near the proposed development as dangerous. She also thinks that the proposed building will increase the population and be an issue for the schools.

Peter Pelan of 20100 170th Street NW commented that he purchased his home with the understanding that the land near it is zoned commercial. He stated that he is devastated that the land near his home has been rezoned.

Jim Miller of 20415 167th Street NW commented that he is concerned about the local economy. He fears that people who are low income do not have vehicles or spending money to use in the community to support local businesses. He is also fearful that an apartment building built near Highway 10 will bring drugs into the community.

Beth DeZwarte of 20253 167th Street NW commented that her son lives in section 8 housing in another city who is sober, but his neighbors have a lot of drugs. She feels that low income housing will invite more drugs into Big Lake.

Scott Cameron of 277 January Street commented that he is disappointed and concerned that there isn't more information made available about proposed developments. He lived in the City most of his life and moved to the country recently because he prefers a country setting.

Jesse Knox of 17230 Highway 10 NW commented that he agrees with the speakers before him. He stated that he purchased his home due to the land around it being zoned commercial. He stated that if he knew that high density housing was going to be placed

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near his home, he would have moved somewhere else.

Vivian Mitchell of 215 Oregon Avenue commented that she is concerned about high density housing being placed in the country. She feels that CommonBond should focus on building in the cities that have housing that was destroyed by rioters or where there is a high level of homelessness instead.

Dave Wisneski of 20292 169th Circle commented that he moved to Big Lake fifteen years ago and he hasn't had any problems with leaving his garage unlocked. He feels that Big Lake needs more businesses. He commented that Big Lake is maxed out on population and that he would prefer to not have to move out of the community.

Klimmek stated that there were some individuals on Zoom that wanted to comment for public forum, but due to technical difficulties, they were not able to be heard. Heidemann stated that there will be multiple Public Hearings at the City Council level for those that didn't get to speak via Zoom.

Dick Dezwarte of 20253 167th Street NW commented that he recently purchased his home with the understanding that the land near him was zoned as commercial. He feels that an apartment building would disappoint his area neighbors. He also expressed concern about traffic on Highway 10. He would like the City to approach the DOT to study if a multi-family housing project is feasible for the area. He also feels that any costs to update the intersection of Highway 10 should be the developers responsibility.

Barthel announced that when an application is submitted there will be a Public Hearing for the project at a Planning Commission meeting. Klimmek stated that public notices can be found on the City's website.

Chair Heidemann closed the Open Forum at 6:42 p.m.

6. APPROVE MEETING MINUTES

6A. APPROVE REGULAR PLANNING COMMISSION MEETING MINUTES OF MAY 20, 2020

Commissioner Zettervall motioned to approve the May 20, 2020 Regular Meeting Minutes. Seconded by Commissioner Odens, unanimous ayes, Minutes approved.

7. BUSINESS

7A. PUBLIC HEARING: REVIEW OF A ZONING TEXT AMENDMENT TO ALLOW GROUP CARE FACILITIES AS A CONDITIONAL USE IN THE T.O.D ZONE

Barthel reviewed that Kevin Green with Wilkus Architects, P.A. (Applicant) submitted an application for a zoning text amendment on behalf of Nystrom & Associates LTD. The

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Applicant is requesting a text amendment to allow Group Care Facilities to be allowed by way of Conditional Use Permit (CUP) in the Transit-Oriented Development (TOD) zoning district. The 60-day statutory review formally ends on August 2, 2020.

Staff is recommending a motion to recommend approval of the text amendment to allow Group Care Facilities as a Conditional Use in the Transit Oriented Development district.

Zettervall asked what is different than before. Barthel stated that prior they were going to PUD it into the property but they do not meet the conditions set forth in the code, so instead they are coming forward with preliminary plat site plan and amending the code to allow for their type of use.

Vickerman asked if there will be commercial use on one level. Barthel stated that it is a hybrid with a commercial component because there will be staff working on site for the residents. Barthel stated that it will be a more commercial use in general.

Chair Heidemann opened the public hearing at 6:54 p.m.

An individual on Zoom asked what is the benefit of having an apartment building in that area. Klimmek stated that it is not an apartment building, but a sober group care facility.

Chair Heidemann closed the public hearing at 6:57 p.m.

Commissioner Zettervall motioned to recommend approval of the text amendment to allow Group Care Facilities as a Conditional Use in the Transit Oriented Development district. Seconded by Commissioner Green, unanimous ayes, motion carried.

7B. PUD CONCEPT PLAN FOR “AVALON ESTATES” (PID 10-324-1200)

Shay reviewed that Avalon Homes submitted a development application for a PUD Concept Plan. The request is for a residential development on 57 acres west of Highland Avenue. The existing property is currently vacant agricultural land. There are no existing structures on the site. The parcel lies directly south of Blacks Lake and west of Big Lake. The property has recently been annexed into the City of Big Lake and is guided as future neighborhood on the land use map.

Staff is asking the Planning Commission to provide informal review and comment regarding the project's acceptability in relation to the Comprehensive Plan and development regulations and to advise the City Council as they review the concept plan.

Zettervall asked about the environmental review. Shay stated it is done through the Environmental Quality Board and that there are about thirteen categories covered. The City would then need to adopt it.

Green asked how this is different from the previous application. Klimmek stated that

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they are now in compliance with DNR. Zettervall asked about the number of units. Green stated that a goal of all developers is to maximize the number of units. Zettervall asked about the percentage of area that is dedicated to parks. Shay stated it would be 10%. Ketti asked if the land can be developed into a park or if it is potential swamp land. Shay stated that the land dedicated has to be developable land and about 13 acres' total is shown on the Comprehensive Plan. Scott asked if tier one is a road and park, if it is in line with DNR preferences. Shay confirmed that it is, because they prefer that housing is moved away from lakeshore access, so changing the housing to a road and park is supported. Green asked if the DNR is okay with the height. Shay stated that originally both were proposed as three story apartment buildings and that there aren't any issues with height. Green stated that the second proposal is more organized and feasible and that she doesn't see any issues. Heidemann stated that he is worried about the residents' concerns on traffic impacts. He stated that the developer should come prepared to answer questions about traffic concerns at the Public Hearing.

Zettervall stated that the homes are very close together and there isn't much for green space. Heidemann stated that this might be because they are trying to maximize housing. Green commented that this is housing for seniors rather than families. The Applicant stated that smaller driveways and yards help to keep association costs lower for tenants. Vickerman stated that he approves of the layout, but that traffic could be an issue.

7C. COMMUNITY DEVELOPMENT DEPARTMENT UPDATE

Klimmek reviewed the following update:

1. Current Development Activity (as of 6/9/20):

Housing:

- Single-Family New Construction Issued Permits 15
- Single-Family New Construction in Review 07

- Multi-Family New Construction
 - Duffy Development - The Crossing at Big Lake Station Phase II
 - In construction
 - Kuepers, Inc. – Station Street Apartments - 105-unit multi-family, market rate new construction project
 - In construction
 - Sandhill Villas (HOA) – 12-unit development project
 - Pre-development
 - Avalon Estates – Approximately 120-unit development for 55+
 - Pre-development
 - Aeon - Big Lake Station Apartments – 55 multi-family units; 70 units for 55+
 - Pre-development – Waiting on tax credit award from MN Housing
 - CommonBond – 120 multi-family units (2, 60-unit buildings)
 - Pre-development – Waiting on tax credit award from MN Housing

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Commercial/Industrial:

- ❖ Minnco Credit Union – New Business / New Construction
 - Opening week of June 22nd
- ❖ Car Condo Project – New Business / New Construction
 - Project is on hold
- ❖ Wastewater Treatment Project - Expansion
 - In construction
- ❖ Nystrom Associates Rehabilitation Facility
 - Pre-development
- ❖ Great River Federal Credit Union – New Business / New Construction
 - Pre-development
- ❖ Blackbird Group LLC – New Business / New Construction
 - Pre-development

2. BLEDA:

- Kick-off for the Branding and Identity Design Project has been postponed until the community is ready to engage in the project.
- BLEDA Strategic Plan Committee will be working on creating strategies/framework for development, re-development, and repurposing.
- Aeon received a recommendation of approval from the BLEDA for a Resolution of Support to submit two (2) tax credit applications to MN Housing to newly construct a 55-unit multi-family structure and a 70-unit apartment building for senior’s age 55+. Council approved the Resolution on 3/25/20.
- CommonBond received a recommendation of approval from the BLEDA for Resolution of Support to submit one (1) tax credit application to MN Housing to newly construct 60 multi-family rental units of both market rate and affordable housing. Council approved the Resolution on 5/27/2020.
- During their November 12, 2019 meeting, the BLEDA entered into a Contract for Private Development with the Blackbird Group LLC to newly construct a laundromat facility on the corner of Martin and Fern. Contract was amended on June 8, 2020 to extend timelines by one year (one year due to unprecedented times and the limitations set forth by the Government for Options, Inc. – they have not been in operation since March 18, 2020).

3. Planning & Zoning:

- The Code Revision Task Force has been created. City Planner, Amy Barthel, is working on her first set of recommendations to bring forward.
- The City Council relaxed zoning to allow for outdoor dining. Staff has been working with restaurants/bars in providing an expedited approval of their outdoor dining concepts.

4. Building:

PERMIT ACTIVITY REPORT – THROUGH May 31, 2020

Permit Type	Permits Issued in	2020 Total
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	May of 2020	
Single-Family	2	12
Multi-Family	0	2
Commercial New / Remodel / Addition	3	10
Remodel / Decks / Misc.	49	113
HVAC / Mechanical	4	29
Plumbing	11	28
Zoning	37	71
Land Alteration	1	3
Fire	0	10
TOTAL	107	278

	Permit Fee	Plan Review	TOTAL
Total Fees in May 2020	\$15,723.85	\$3,996.15	\$19,720.00

YTD 2020 Total Valuation (through 5/31/20)	YTD 2020 Permit Fee + Plan Review (through 5/31/20)
\$10,157,319.40	\$123,742.95

PREVIOUS YEAR COMPARISON – THROUGH May 31, 2019

Permit Type	Permits Issued in May of 2019	2019 Total
Single-Family	7	13
Multi-Family	0	0
Commercial New / Remodel / Addition	1	12
Remodel / Decks / Misc.	36	87
HVAC / Mechanical	9	26
Plumbing	5	17

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Zoning	33	53
Land Alteration	3	4
Fire	3	3
TOTAL	97	215

	Permit Fee	Plan Review	TOTAL
Total Fees in May 2019	\$25,939.59	\$8,638.16	\$34,577.75

YTD 2019 Total Valuation (through 5/31/19)	YTD 2019 Permit Fee + Plan Review (through 5/31/19)
\$12,044,194.40	\$132,366.19

5. Other:

- Community Development has a complete team:
 - Hanna Klimmek CD Director
 - Sandy Petrowski Administrative Assistant
 - Kati Peterson Administrative Assistant
 - Corrie Scott Recreation & Communications Coordinator
 - Amy Barthel City Planner
 - Lenny Rutledge Chief Building Official
 - Jack Johansen Intern – Code Enforcement / Planning
 - Kevin Shay Planning Consultant
 - Mick Kaehler Building Inspections Contracted Service

Green asked what is going in near Lake Dental. Klimmek stated that the owner of the sunflower fields off of County Road 11 purchased the land and she believes he will be planting flowers for picture opportunities, but that she isn't fully sure on his intentions with the land.

8. PLANNER'S REPORT

Barthel reviewed the following update:

Residential Development

- Interest from an apartment development in the property south of the Aeon property in the Station Street area.

Commercial Properties

- Nystrom Treatment Facility submitted application for Preliminary Plat, Conditional Use Permit and Site Plan. July 1, 2020 is anticipated Planning Commission

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meeting.

- Great River Federal Credit Union is expecting Final Plat in June or July. That review goes straight to City Council.

Other Updates

- Zoning Matrix complete for Zoning Task Force. To be distributed soon
- Surveys for the regional planning effort (Central Mississippi River Regional Planning Partnership) should be filled out by you and everyone you know! Please take the time to complete the survey and send them to residents, business owners, and maybe even strangers.
- Elected/appointed official survey = Planning Commission, EDA, City Council, etc
- Organization = Business
- Employee = City Staff
- Community = Residents

<ul style="list-style-type: none">• Survey links
Elected/appointed official survey
Organization survey
Employee survey
Community survey

Barthel received a rough draft of an application for an apartment building that is looking for informal comment. Green stated there is a lot of parking offered and she asked if the apartment is market rate. Klimmek confirmed that it will be market rate and that there is a need for market rate apartments at this time.

Barthel announced that she has put in her letter of resignation and her last day will be July 1, 2020.

9. COMMISSIONERS' REPORTS

Council is extending commercial vehicle parking code to 90 days.

10. OTHER – None.

11. ADJOURN

Commissioner Green motioned to adjourn at 7:50 p.m. Seconded by Commissioner Zettervall, unanimous ayes, motion carried.



AGENDA ITEM

Big Lake Planning Commission

Prepared By: Amy Barthel, City Planner	Meeting Date: 7/1/2020	Item No. 7A
Item Description: Public Hearing for the Preliminary Plat, Conditional Use Permit and Site Plan for Nystrom Treatment Facility	Reviewed By: Hanna Klimmek, Community Development Director	
	Reviewed By: Clay Wilfahrt, City Administrator	

ACTION REQUESTED

A motion to recommend approval to the City Council, the request for a Preliminary Plat, Conditional Use Permit and Site Plan for Nystrom Treatment Facility.

BACKGROUND/DISCUSSION

Overview/Background

Kevin Green with Wilkus Architects (Applicant) submitted a Zoning & Land Use application on behalf of Nystrom & Associates LTD, requesting City approval of a Preliminary Plat, Conditional Use Permit and Site Plan for the development of a vacant parcel of land; PID: 65-597-0010 (Subject Property). The site is located south of Forest Road and east of County Road 43. The Subject Property is requesting to construct a three-story in-patient treatment facility for those with substance dependency to have access to around the clock certified care.

Preliminary Plat. The Applicant is proposing to plat the property into two (2) parcels. The development will be platted to become Lots 1, Block 1, Station Street Nystrom Addition and Outlot A, Station Street Nystrom Addition.

Site Plan. The parcel will consist of one (1) building with a proposed outdoor recreational space consisting of a basketball court, bocce ball court, and shuffle board area. This is located within an internal walking trail throughout the property. The property has an area designated for future expansion of the facility.

Conditional Use Permit. The treatment facility is a “Group Care Facility” as determined by the zoning code, which is a conditional use permit in the Transit-Orient Development (TOD) District. The Applicant must meet the CUP criteria and the standards for Group Care Facilities.

The application was submitted on June 5, 2020. The Applicant was sent a complete letter on June 23, 2020. The 60-day review period expires of August 4, 2020.

Primary Issues to Consider

1. Land Use & Zoning
2. Site Information

Analysis of Primary Issues

1. Land Use & Zoning

The Subject Property, a 3.33-acre site, is currently guided as Transit-Orient Development per the Big Lake Comprehensive Plan, which is defined as follows: High-density attached housing; retail businesses; office buildings; mixed-use buildings. [Consisting of] Three rings of intensity [within] a walkable public realm.

On February 26, 2020 the City Council approved a final plat for a large parcel of land which is known as the Station Street development. The Subject Property is an Outlot from that development (Outlot A). All properties in the Station Street plat were rezoned from Agriculture to Transit-Oriented Design (TOD). Thus, the current zoning of the property is TOD.

The proposed use for the Subject Property is a conditional use according to the TOD zoning district [Section 1068] which was amended to allow Group Care Facilities on June 24, 2020. The surrounding properties consist of TOD to the North and East; Industrial (I-1), R-1 and R-2 to the West, and future neighborhood the South.

The Use is allowed per Zoning and Land Use.

2. General Site Information

Currently, the Subject Property is a single Outlot consisting of 3.33 acres (145,013 square feet). Proposed Lot 1, which the facility will be located on is planned to be 2.44 acres (106,134 square feet). Outlot A will consist of 0.89 acres (38,866 square feet). There are no established minimum or maximum lot areas for the TOD zone; rather there are requirements such as lot coverage that can determine the size of a property.

The Subject Property will have access from Station Street and will closely mirror the entrance to the Northstar Apartments. This access is planned to be utilized by Outlot A in the future. To ensure the parcel will have access, a Cross Access Easement agreement shall be entered into at time of Final Plat.

At maximum capacity, ten (10) to fifteen (15) employees will be on a shift servicing sixty-two (62) beds in thirty-four (34) rooms. Patients will be dropped off at the facility and stay for an average duration of 30-days. The facility has nursing quarters, cafeteria, meeting rooms and other essential facilities for typical residential uses. The use is a 'dry' facility that caters to those seeking mental health, psychiatric and chemical dependency help.

Lot Coverage and Surface Water

The total impervious area shown on the site plan for Lot 1 totals 1.21 acres (52,707 square feet) or 49% of the property. The TOD has lot coverage standards that have a minimum lot coverage of 60% net lot area, or 40% lot coverage if the development has a designated open space area [Section 1068.05 Subd.2(1)]. The Subject Property proposes to include an outdoor recreational area for patients which constitutes as open space. This property is subject to the 40% lot coverage requirement, but lot coverage area is expected to increase as the future expansion of the facility occurs. The lot coverage calculation would then become closer to fifty-five percent (55%) lot coverage.

Currently, there are no systems installed on the Subject Property to mitigate water and there are no wetlands or stormwater ponds. Because the property will be improved with impervious surface, the property is required to mitigate water runoff on-site. The submitted plan show the property installing two (2) sedimentation basins and two (2) infiltration basins. These basins are designed to serve the future building expansion of Nystrom and potentially have capacity for the development of Outlot A. However, the stormwater calculations would be reexamined at time of development. The location, design and size of the basins have been reviewed by the consultant engineering firm. The systems prove to be adequate with a few minor amendments.

Lot coverage is satisfied. Filtration basins are adequate.

Parking Standards

The parking plan shows forty-three (43) parking spaces for the property, including two (2) accessible spaces. According to City Code Section 1030.11 Subd.13, there is a requirement for Long-Term Care and Physical Disability Housing which can be considered as the same as the proposed facility with the difference being short-term versus long-term care. The parking ratio for the use requires a total of twenty-four (24) parking stalls. The TOD zone states that the number of parking stalls shall not exceed 104 stalls [Section 1068.04] which reads "Not more than one (1) parking space per one hundred (100) square feet of gross building area".

Provided Stalls	Required Stalls
43	24

The parking ratio is as follows: One (1) stall per four (4) beds for which accommodations are offered plus one (1) per each two (2) employees [Section 1030.11 Subd.13]. The facility offers sixty-two (62) beds. The required parking for the beds is sixteen (16) and, using the highest number of the employees on a shift which is fifteen (15), the requires stalls is eight (8) for employees. Again, the total parking required is twenty-four (24). The future expansion would include twenty-six (26) rooms (13 rooms for level 2 & 3) for a total of fifty (50) beds. That would account for thirteen (13) more stalls for a new total of thirty-seven (37).

TOD requires certain parking standards including parking lot location, landscaped parking islands, screening, bicycle racks and walkway connections. Those standards have been analyzed and the following was found to be inadequate. The Applicant must resubmit plans including the following details pertaining to the parking requirements:

- One (1) landscaped island is required in the parking lot to break up the ten (10) contiguous parking stalls [Section 1068.04 Subd.3(2)].
- A bicycle rack is required to be placed on the property [Section 1068.04 Subd.5].

The installation of a landscaped island will most likely reduce the number of parking stalls down to forty-two (42) stalls. Staff will reevaluate the parking when the plans are resubmitted.

Parking requirements need to be adjusted.

Sidewalks

Sidewalks are required to be placed along all public right-of-way and be no less than six (6) feet in width [Section 1068.05 Subd.4]. The Applicant is showing improvements along County Road 43 and Forest Road in addition to the interior sidewalks. Light fixtures and pedestrian amenities including benches, public art, planters and the like shall be located along sidewalks or plaza areas. The Applicant will incorporate these types of amenities with the resubmitted plans. Staff expects to see lighting and benches in the plaza area as well as the internal walkways.

Sidewalk requirements need to be adjusted.

Building Setbacks and Height Requirements

The proposed facility abuts two (2) public rights-of-way (County Road 43 and Forest Road), making this parcel a corner lot. According to the Station and Midway zone requirements, a front yard setback for mixed-use buildings require a minimum of a zero (0) feet and a maximum of five (5) foot setback. However, the ‘front yard setback may be increased to twenty-five (25) feet from the front property line if a courtyard, plaza or seating area is incorporated into the development (adjacent to a public street)’ [Section 1068.05 Subd.1 (1)(a)]. The Applicant is proposing the building setback from Forest Road to be twenty-five (25) feet. Per code, they have the ability to exceed the setback due to the construction of a plaza area. Said plaza area consists of a decorative awning, concrete patio and seating area.

The side yard setback has a minimum requirement of a zero (0) foot setback and a maximum of twenty-five (25) feet. According to the definition of Front Lot Line as established in Section 1001.02, is “the boundary of a lot which abuts an existing or dedicated public street, and in the case of a corner lot, it shall be the shortest dimension on a public street. If the dimensions of a corner lot are equal, the front line shall be designated by the City Building Official”. The building official has indicated that the front lot line would be considered the property line along Forest Road. In addition to that determination, Section 1068.06 Subd.2 (1)(b) states that “all buildings shall provide a main entrance on the façade of the building facing the transit station or streets leading to the transit station”.

Thus, County Road 43 would be considered to be a side yard, and the side yard setbacks would apply. The applicant proposed the setback from County Road 43 to fifteen (15) feet. No plaza area is proposed for this side of the building,

although the submitted plan shows sidewalks leading from the building to the public sidewalk. The rear yard setback for the TOD zone is fifteen (15) feet. This would be considered to be the minimum setback requirement. In this case, the proposed building setback does not encroach into the rear yard setback.

The dimensional requirements as listed in Section 1068.05 Subd.3 states that the building height has a minimum requirement of two (2) stories or thirty (30) feet and a maximum of five (5) stories or sixty (60) feet. The proposed building is 48 feet and three stories.

The proposed building height and setbacks are satisfied.

Building Materials & Building Facades

The TOD zone requires building facades that “..shall be consistent with the guidelines of the Big Lake Downtown Design Standards. Application of the standards shall follow the same procedure as in the Downtown Design Standards-Transition Zone.” [Section 1068.06 Subd. 2 (1)(a). The Downtown Design Standards (DDS) has guidelines and regulations as it pertains to the requirements in the DDS. The Transition Zone applies the *guidelines* of the DDS whereas, the Central Business District overlay must apply the *regulations*. As stated in the DDS, the Transition Zone treats the guidelines as suggestion rather than binding rules. Guidelines for building materials are listed below:

- Buildings should be designed with quality materials on all sides. All facades shall be articulated with a variety of materials, although the front façade may have a unique design or more significant glazing.
- Buildings should be constructed and maintained for permanence and longevity therefore durable, maintainable materials should be used.
- Where building materials are different from level to level, color, texture and form should be integrated between levels where possible.
- Buildings should be finished in acceptable tones and colors that complement neighboring buildings.

The colored architectural elevations provided by the Applicant shows a high-quality finished design, using a mix of materials with articulations in the roof and decorative awnings. The building material varies as from story to story and reflect different forms of texture and color. The applicant is providing siding that consists of LedgeStone, Board and Batten, Cedar Shakes, and Lap Siding. The overall building area consists of twenty-five percent (25%) ledgeStone, but the building façade fronting Forest Road has an increased ledgeStone area to increase aesthetics. This type of building design and materials are similar and consistent with other projects within the TOD zone. The proposed materials are consistent with the approved materials as listed in the General Building Regulations section of code [Section 1040].

Building façade and material requirements are satisfied.

Landscape Plan

The parcel has been used for farming purposes and has few trees of significance existing on the property. Any trees will be removed from the Subject Property except for existing boulevard trees abutting Forest Road. For landscaping, City Code requires a specific size and species of tree and plants. The landscape plan shows eighteen (18) trees and fifty-one (51) shrubs around the property, all which are approved species. Below outlines the required number of plantings versus the proposed planting.

	Code Requires	Proposed
Trees	17 deciduous	15 deciduous
Trees	17 coniferous	3 coniferous
Trees	Substitute 1 overstory tree for 3 ornamental trees	0 ornamental
Shrubs	Substitute 1 overstory tree for 3 shrubs	51 shrubs
Total	34* trees	69 trees and shrubs

*Excludes substituting ornamental trees/shrubs

Code states that the complement of trees fulfilling the requirements of this Section shall be not less than twenty-five (25) percent deciduous and not less than twenty-five (25) percent coniferous. The Applicant has enough trees proposed to meet that requirement, but needs to add more coniferous trees to reflect that, which would require at least nine (9) trees deciduous and nine (9) trees coniferous.

Landscape plan requirements need to be adjusted.

Conditional Use Criteria

The Applicant is requesting a CUP to conduct their operations as a Group Care Facility. The performance standards for this use are as follows [Section 1068.02]:

- 1) The facility is licensed by the State of Minnesota and the operator of the facility provides documentation of compliance with all applicable federal, state and county regulations.
- 2) The facility is not located within one thousand three hundred twenty (1,320) feet of any similar type use or care facility.
- 3) The entrance of the facility is located within five hundred (500) feet of a public transit route and stop, and pedestrian access is available, or the operators provide a transportation/access plan which is found acceptable to the City Council.
- 4) The operation is subject to annual review and continual monitoring by the City and is found to be in compliance with all applicable construction and operation regulations and standards.

Nystrom & Associates is a licensed operation through all applicable governmental agencies and will provide the City with those licenses before receiving the Certificate of Occupancy. The operation will continue to be monitored on a continuous basis. The operation requires a spatial distance from another facility of the same use, there is no other facility within the distance as established in the performance standards. The Subject Property is within the TOD zone which is planned to encourage pedestrian movement and public transportation, but is not five hundred (500) feet from a public transit route stop. The Subject Property is approximately 750 feet from the Northstar Transit Center. The Planning Commission should discuss if this location is adequate as it relates to pedestrian access to transportation.

The Planning Commission shall hold the public hearing to consider the application and the possible adverse effects of the proposed conditional use permit. The judgment of the Planning Commission with regard to the application shall be based upon the following factors:

- a. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
- b. The proposed action meets the purpose and intent of this Ordinance and the intent of the underlying zoning district.
- c. The proposed use can be accommodated with existing public services and will not overburden the City's service capacity.
- d. There is an adequate buffer yard or transition provided between potentially incompatible uses or districts.
- e. The proposed use is or will be compatible with present and future land uses of the area.
- f. The proposed use conforms with all performance standards contained within this Ordinance.
- g. Traffic generation by the proposed use is within capabilities of streets serving the property.

In addition to the above general criteria, the proposed conditional use permit meets the criteria specified for the business zoning district outlined as follows.

1. Traffic. The proposed use will not cause traffic hazards or congestion.

2. Nearby Residences. Adjacent residentially-zoned land will not be adversely affected because of traffic generation, noise, glare, or other nuisance characteristics.

It has been found that the proposed use on the Subject Property is consistent with zoning and land use. The TOD zone incorporates and encourages a mix of uses, such as residential and commercial uses in close proximity. The future use for this area focuses on walkability and one of the many goals is to focus on design and layout of the properties. This includes increased landscaping, sidewalks and screening of parking lots. The proposed use has conformed to the standards of the ordinance and in nature, does not have high traffic volumes. There are no implications that this proposed use will increase traffic, noise, glare or other nuisances. The Planning Commission should evaluate the proposed use and the CUP criteria.

The Planning Commission should consider the pedestrian access to public transportation.

FINANCIAL IMPACT

N/A

STAFF RECOMMENDATION

City staff supports a recommendation of approval for the Preliminary Plat, Conditional Use Permit and Site Plan for the Nystrom Treatment Facility. Staff recommends the Planning Commission makes the following motion:

Recommend approval to the City Council, the request for a Preliminary Plat, Conditional Use Permit and Site Plan for Nystrom Treatment Facility, located at PID: 65-597-0010, subject to the following conditions:

1. Address any outstanding engineer comments dated June 16, 2020.
2. The landscape plan shall be altered to include one (1) landscaped parking island to break up the ten (10) contiguous parking stalls.
3. The plans shall be altered to include a bicycle rack for the Subject Property.
4. Outdoor amenities such as pedestrian lighting and benches shall be added to the site plan per Section 1068.06 Subd.1(1)(b).
5. The landscape plan shall include nine (9) coniferous trees and nine (9) deciduous trees are required.
6. The planned expansion for the facility will require a site plan amendment at which point parking and stormwater calculations will be evaluated.
7. This site plan becomes null and void if no construction starts within one (1) year.
8. The Applicant shall provide the City of Big Lake with all applicable governmental licenses for the Group Care Facility before the City issues a Certificate of Occupancy.
9. Work within City and County right-of-way will require the appropriate permitting.

ATTACHMENTS

- Plan Set dated 06-03-2020
- Narrative
- Aerial Photo



06/03/2020

Amy Barthel
City Planner
City of Big Lake
160 Lake Street N
Big Lake, MN 55309

RE: Nystrom & Associates Residential Treatment Center

Dear Amy,

Thank you for your time in considering our application. Nystrom & Associates LTD is proposing to develop a new residential treatment center to support Sherburne County and beyond, near HWY 43 and Forest Drive in Big Lake, MN. Please refer to the attached vicinity map for the site location. Nystrom is a great partner of Sherburne County and the city of Big Lake. We have been operating within the city since 2017.

The facility will offer comprehensive individual and group treatment services, surrounding mental health and substance use disorder in a safe and supporting environment. Per statute, these facilities are by nature “dry”, meaning there is no alcohol or illicit drugs kept/used onsite. To remove any uncertainty, this facility is not a “wet house” or “sober living facility.” We truly believe, and are told by the community, that this facility and service offerings will strengthen the community. We also look forward to bringing quality jobs to Big Lake.

The design offers a local pallet with a contemporary approach, using natural hues to soften the transition between the urban setting and intimate use. Amenities include an inviting exterior, improved landscaping, outdoor sporting equipment, indoor group dining, 34 shared units, group therapy rooms, lounge, and exercise room.

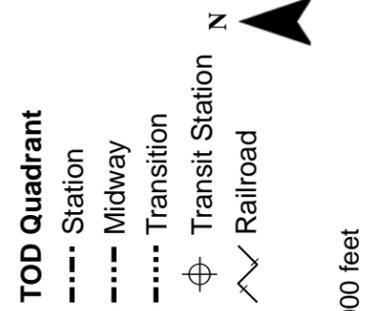
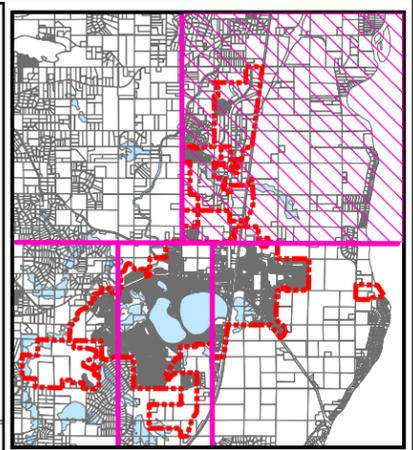
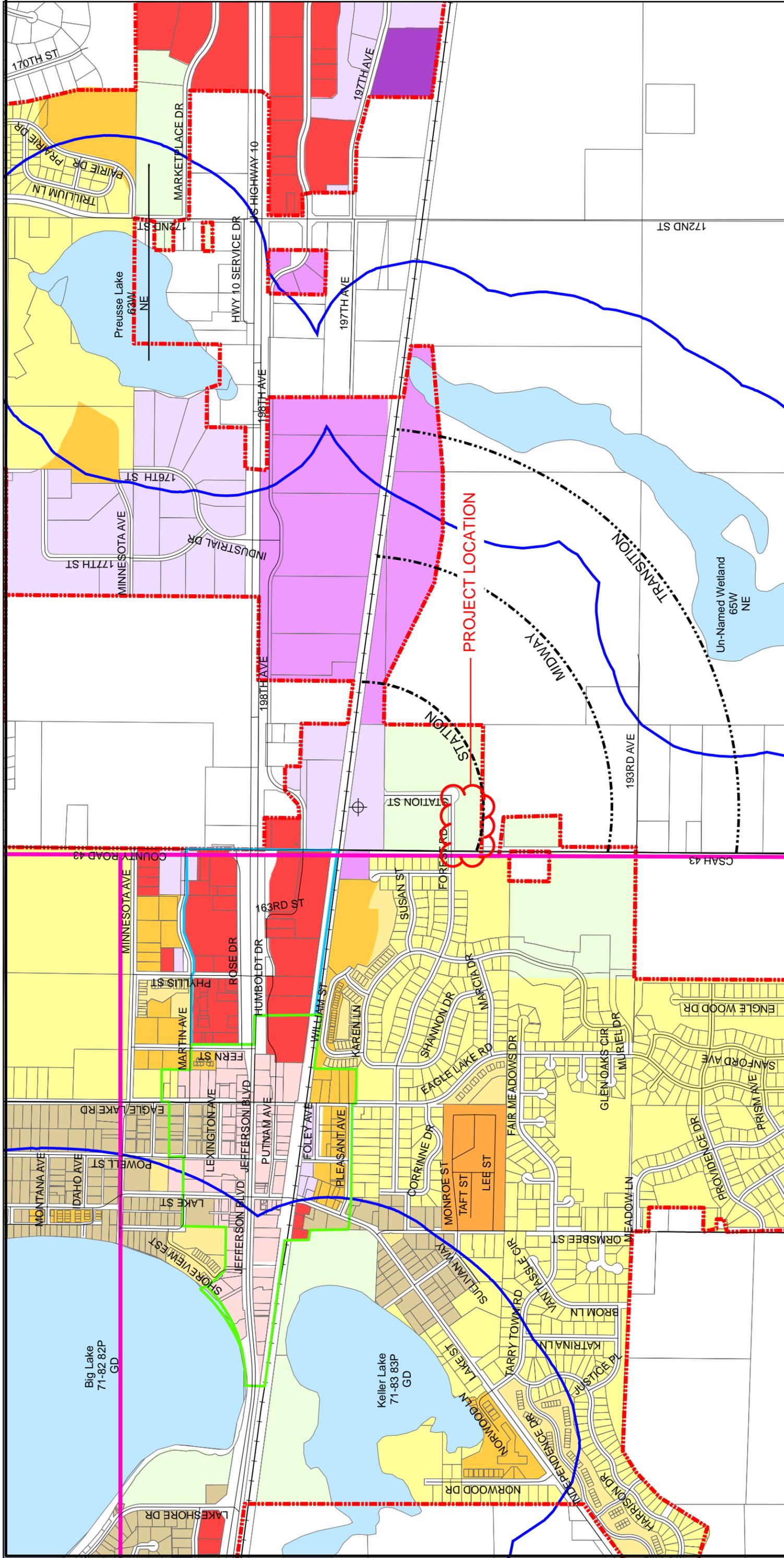
The nature of this request is to submit our proposed design for preliminary plat, conditional use permit and site plan reviews. We believe the intended use as described above will fit well within the TOD zone and adjacent properties. The treatment center site requirements are like that of an assisted living facility, but less demanding on traffic as patients are required to be dropped off for their treatment sessions, usually a 30-day average duration. This reduces the building’s parking needs to simply staff and limited visitors.

In conclusion, Nystrom & Associates is requesting a preliminary plat review, conditional use permit and site plan review, to support the proposed treatment center for greater Sherburne County. Nystrom & Associates is excited to develop in Big Lake and looks forward to working with staff throughout the process.

Sincerely,

Kevin Green
Project Manager
262-488-5035
Kpg@Wilkusarch.com

Enclosure: 2020 Development Application for Preliminary Plat, CUP and Site Plan Review
TOD Zoning Map with project location



- Zoning Districts**
- A, Agricultural
 - R1 - E, Single Family Residential Estate
 - R-1, Single Family Residential
 - R-2, Medium Density Residential
 - R-3, High Density Residential
 - R-4, Manufactured Home Park
 - R-5, Residential Redevelopment
 - B-2, Community Business
 - B-3, General Business
 - I-1, Industrial Park
 - I-2, General Industrial
 - I-3, Isolated Industrial
 - Parcels

- Downtown Dist-Central Business Dist TOD Quadrant**
- Downtown Dist-Central Business Zone
 - Downtown Dist-Transition Zone
 - Shoreland Overlay District
 - Special Use District
 - Recreational River District
 - Water Features
 - City Limits

- Station
- Midway
- Transition
- Transit Station
- Railroad

**City of Big Lake
TOD Zoning Map**

NAC NORTHWEST ASSOCIATED CONSULTANTS, INC.
 4800 Olson Memorial Highway, Suite 202, Golden Valley, MN 55422
 Telephone: 763.251.2558 Fax: 763.251.2641 jnw@nwacinc.com

Sources: Sherburne County, MN DNR,
 City of Big Lake, & Northwest Associated
 Consultants, June 2009.

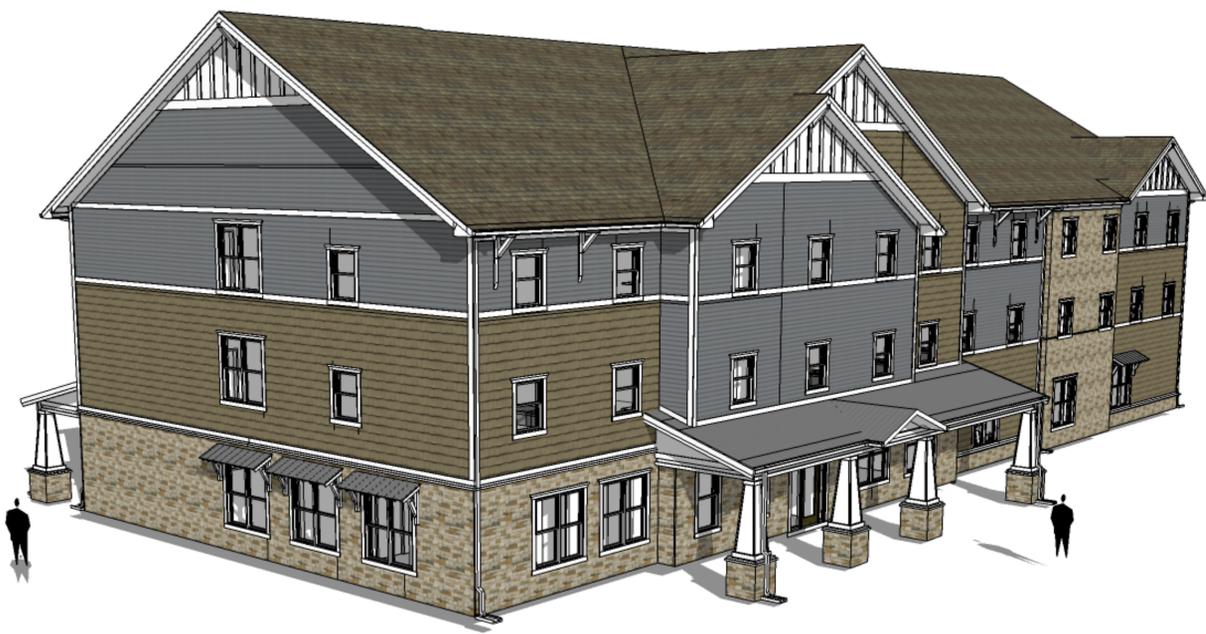
ABBREVIATIONS

CL	CENTER LINE	INSUL	INSULATION
@	AT		
ACT	ACOUSTIC CEILING TILE	MANUF	MANUFACTURER
ADJ	ADJACENT	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
APX	APPROXIMATELY	MIN	MINIMUM
		MISC	MISCELLANEOUS
		MTL	METAL
BD	BOARD		
BLDG	BUILDING	N/A	NOT APPLICABLE
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BO	BOTTOM OF		
CLG	CEILING	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
COL	COLUMN		
CONC	CONCRETE	PLMBG	PLUMBING
CONT	CONTINUOUS	PLYWD	PLYWOOD
DIM	DIMENSION(S)	REQ'D	REQUIRED
DWG	DRAWING	REV	REVERSE
EA	EACH	SHT	SHEET
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION	SPEC	SPECIFICATION
EQ	EQUAL	SQ FT	SQUARE FEET
EXIST	EXISTING	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
		STRUC	STRUCTURAL
		SUSP	SUSPENDED
FIN	FINISH		
FLR	FLOOR		
FOS	FACE OF STUD	T.O.	TOP OF
FOSF	FACE OF STOREFRONT	TYP	TYPICAL
FOW	FACE OF WALL		
FRP	FIBERGLASS REINFORCED PANEL	UNO	UNLESS NOTED OTHERWISE
FT	FEET		
		VERT	VERTICAL
		VIF	VERIFY IN FIELD
GC	GENERAL CONTRACTOR	VTK	VIRTUAL TRAINER KIOSK
GYP	GYPSUM		
		W/	WITH
HGT	HEIGHT	WD	WOOD
HORIZ	HORIZONTAL		
HVAC	HEATING, VENTILATION & AIR CONDITIONING		

FIRE DEPARTMENT NOTES

- ENGINEERED AUTOMATIC FIRE SPRINKLER SYSTEM DRAWINGS AND CALCULATIONS SHALL BE DESIGNED AND SUBMITTED BY AN APPROVED INSTALLER PRIOR TO INSTALLATION.
- ALL LIFE-SAFETY SYSTEMS SHALL BE DESIGNED PER APPLICABLE FIRE PREVENTION CODE.
- THE INSPECTION, HYDROSTATIC TESTING, AND FLUSHING OF THE AUTOMATIC FIRE SPRINKLER SYSTEM AND/OR FIRE HYDRANTS SHALL BE WITNESSED BY THE PROPER FIRE DEPARTMENT REPRESENTATIVE AND NO UNDERGROUND PIPING SHALL BE COVERED OR HIDDEN FROM VIEW UNTIL THE PROPER FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NO LESS THAN FORTY-EIGHT HOURS IN WHICH TO INSPECT SUCH INSTALLATIONS.
- FIRE EXTINGUISHER REQUIREMENTS SHALL BE AS DETERMINED BY FIELD INSPECTION AND NFPA 10. THE CONTRACTOR SHALL SUPPLY ALL FIRE EXTINGUISHERS.
- BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF THE BUILDING AND SHALL BE VISIBLE AND LEGIBLE FROM THE PUBLIC RIGHT-OF-WAY. SAID NUMBERS SHALL CONTRAST VISUALLY WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE PROVIDED BY THE CONTRACTOR.
- COMMERCIAL DUMPSTERS OR CONTAINERS WITH A CAPACITY OF ONE-AND-ONE-HALF CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN FIVE-FEET OF COMBUSTIBLE WALLS, OPENING, OR ROOF EAVE LINES, UNLESS THESE AREAS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM.
- POST "NO PARKING - FIRE LANE" SIGNS ALONG VEHICULAR ACCESS ROADS.

LOCATION MAP



NYSTROM AND ASSOCIATES TREATMENT CENTER

BIG LAKE, MN

MATERIAL HATCHES

	BATT INSULATION		EXISTING CONSTRUCTION/ CONSTRUCTION BY OTHERS		PLYWOOD
	BRICK MASONRY		FINISHED WOOD		GYPSON BOARD
	CONCRETE MASONRY		STEEL		CONCRETE
	EARTH		Aluminum		RIGID INSULATION / EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
	EIFS		SAND / GROUT / CEMENTITIOUS BOARD		

SYMBOL LEGEND

	GRIDLINE		WALL TYPE		KEY NOTE
	REVISION		ROOM NAME		ROOM DESIGNATOR
	DETAIL PLAN / ENLARGED PLAN		MATERIAL FINISH		FINISH TRANSITION
	ELEVATION		MISCELLANEOUS ITEM		DOOR
	BUILDING SECTION		SPOT ELEVATION		WINDOW
	DETAIL SECTION		MEANS OF EGRESS PATH / ACCESSIBLE ROUTE		EGRESS BREAKDOWN: NUMBER OF OCC. EXITING EXIT WIDTH REQUIRED EXIT WIDTH PROVIDED

PROJECT GENERAL NOTES

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL CODE ORDINANCES AND LAWS.
- THE CONTRACTOR SHALL VISIT THE JOB SITE, VERIFY EXISTING CONDITIONS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO SUBMITTING A BID AND/OR BEGINNING ANY CONSTRUCTION WORK.
- ALL WORK, WHEN COMPLETED, SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS FOR RESOLUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A COMPLETE AS-BUILT SET OF CONSTRUCTION DRAWINGS AT THE JOB SITE AND TURNING THE AS-BUILT DRAWINGS OVER TO THE OWNER UPON COMPLETION OF THE PROJECT.
- REFER TO INDIVIDUAL DRAWINGS WITHIN THIS SET OF CONSTRUCTION DOCUMENTS FOR ADDITIONAL GENERAL NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGHLY CLEANING THE COMPLETED JOB SITE PRIOR TO TURNING THE PROPERTY OVER TO THE OWNER FOR OCCUPANCY.
- WILKUS ARCHITECTS SHALL NOT BE HELD ACCOUNTABLE FOR ISSUES ARISING FROM REPRODUCTION OF THESE DRAWINGS SUCH AS, BUT NOT LIMITED TO, ALTERING THE LINE THICKNESSES, LINE TONES, AND HATCH PATTERNS.
- IN THE EVENT THAT THE CONTRACTOR, OR SUBCONTRACTOR AT ANY TIER, DETERMINES THAT SOME PORTION OF THE DRAWINGS, SPECIFICATIONS, OR OTHER CONTRACT DOCUMENTS REQUIRES CLARIFICATION OR INTERPRETATION BY THE ARCHITECT, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION IN WRITING TO THE ARCHITECT.
 - REQUESTS FOR INFORMATION MAY ONLY BE MADE BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL CLEARLY AND CONCISELY SET FORTH THE ISSUE FOR WHICH CLARIFICATION IS SOUGHT AND WHY A RESPONSE IS NEEDED FROM THE ARCHITECT AND/OR CONSULTANTS. IN THE REQUEST FOR INFORMATION, THE CONTRACTOR SHALL SET FORTH AN UNDERSTANDING OF THE REQUIREMENT, ALONG WITH A REASON WHY SUCH AN UNDERSTANDING WAS REACHED. THE ARCHITECT WILL REVIEW THE REQUEST FOR INFORMATION TO DETERMINE IF IT IS A REQUEST FOR INFORMATION WITHIN THE MEANING OF THIS TERM. IF THE ARCHITECT DETERMINES THAT IT IS NOT A REQUEST FOR INFORMATION, IT WILL BE RETURNED TO THE CONTRACTOR, UNREVIEWED AS TO CONTENT, FOR RE-SUBMITTAL IN THE PROPER FORM AND THE PROPER MANNER.
 - RESPONSES TO REQUESTS FOR INFORMATION SHALL BE ISSUED UPON RECEIPT, BUT NO LATER THAN FIVE WORKING DAYS OF RECEIPT OF THE REQUEST, UNLESS THE ARCHITECT DETERMINES THAT A LONGER PERIOD OF TIME IS NEEDED IN ORDER TO PROVIDE AN ADEQUATE RESPONSE. IF A LONGER PERIOD OF TIME IS DETERMINED NECESSARY BY THE ARCHITECT, THE ARCHITECT WILL, WITHIN FIVE WORKING DAYS OF THE RECEIPT OF THE REQUEST FOR INFORMATION, NOTIFY THE CONTRACTOR OF THE ANTICIPATED RESPONSE TIME.
 - IF THE CONTRACTOR SUBMITS A REQUEST FOR INFORMATION WITH FIVE WORKING DAYS OR LESS FLOAT ON THE CURRENT PROJECT SCHEDULE, THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY TIME EXTENSION DUE TO THE TIME IT TAKES THE ARCHITECT TO RESPOND TO THE REQUEST FOR INFORMATION, PROVIDED A RESPONSE IS GIVEN WITHIN FIVE WORKING DAYS AS SET FORTH ABOVE.
 - RESPONSES FROM THE ARCHITECT WILL NOT CHANGE ANY REQUIREMENTS OF THE CONTRACT OR DOCUMENTS. IN THE EVENT THAT THE CONTRACTOR BELIEVES A RESPONSE TO A REQUEST FOR INFORMATION WILL CAUSE A CHANGE TO REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY GIVE WRITTEN NOTICE TO THE ARCHITECT AND THE OWNER STATING THAT THE CONTRACTOR CONSIDERS THE RESPONSE TO BE A CHANGE ORDER. FAILURE TO GIVE SUCH WRITTEN NOTICE IMMEDIATELY SHALL WAIVE THE CONTRACTOR'S RIGHT TO SEEK ADDITIONAL TIME OR COST.

PROJECT TEAM

CLIENT OR OWNER :
 NYSTROM & ASSOCIATES LTD
 1900 SILVER LAKE ROAD, SUITE 110
 NEW BRIGHTON, MN 55112
 (651) 628-9566

CONTACT: PETER NYSTROM - CHIEF COMMERCIAL OFFICER
 PNYSTROM@NYSTROMCOUNSELING.COM

ARCHITECT :
 WILKUS ARCHITECTS, P.A.
 15 NINTH AVENUE NORTH
 HOPKINS, MN 55416
 952.941.8660

CONTACT: KEVIN GREEN - SENIOR PROJECT MANAGER
 KPG@WILKUSARCH.COM

CIVIL ENGINEER :
 LOUCKS INC
 7200 HEMLOCK LANE, SUITE 300
 MAPLE GROVE, MN 55369
 (763) 424-5935

CONTACT: TREVOR GRUYS, PE
 TGRUYS@LOUCKSINC.COM

ELECTRICAL ENGINEER :
 N/A - DESIGN - BUILT BY THE GENERAL CONTRACTOR

MECHANICAL ENGINEER :
 N/A - DESIGN - BUILT BY THE GENERAL CONTRACTOR

PLUMBING :
 N/A - DESIGN - BUILT BY THE GENERAL CONTRACTOR

STRUCTURAL ENGINEER :
 INNOVATIVE STRUCTURAL SOLUTIONS, P.A. (ISS)
 5279 KYLER AVENUE NE
 ALBERTVILLE, MN 55301
 (763) 425-9960

CONTACT: ROBERT HUTCHINSON, P.E.
 RHUTCHINSON@ISSENG.COM

SHEET INDEX

REVISION	NUMBER	NAME
	A000	COVER SHEET
	A011	CODE PLANS
	A210	ARCHITECTURAL FLOOR PLAN (01)
	A212	ARCHITECTURAL FLOOR PLAN (02)
	A700	EXTERIOR ELEVATIONS
	C1-1	EXISTING CONDITIONS
	C1-2	DEMO PLAN
	C2-1	SITE PLAN
	C3-1	GRADING PLAN
	C3-2	SWPPP
	C3-3	SWPPP NOTES
	C4-1	UTILITY PLAN (STORM)
	C4-2	UTILITY PLAN (SANITARY & WATER)
	C8-1	CIVIL DETAILS
	C8-2	CIVIL DETAILS
	C8-3	CIVIL DETAILS
	PLAT	PRELIMINARY PLAT
	TOPO	BOUNDARY & TOPO SURVEY
	L1-1	LANDSCAPE PLAN
	L2-1	LANDSCAPE DETAILS
	L2-2	LANDSCAPE DETAILS

CONSULTANT:

15 Ninth Avenue North, Hopkins, MN 55343
 Phone: 952.941.8660 | www.wilkusarch.com

CLIENT:

Mental Health - Psychiatry - Substance Use Disorder

PETER NYSTROM
 NYSTROM & ASSOCIATES LTD
 1900 SILVER LAKE RD NW,
 SUITE 110
 NEW BRIGHTON, MN 55112

PROJECT INFORMATION:

**NYA - BIG LAKE
TREATMENT CENTER**

COUNTY HWY 43 & FOREST ROAD
 BIG LAKE, MN 55309

SEAL:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Print Name: MICHAEL J. WILKUS

Signature: _____
 License No.: 16380
 Expiration Date: 06-30-2020
 Date: 06-04-2020

PROJECT NO.: 2019-0487
 DRAWN BY: BMB
 CHECKED BY: KPG

ISSUE: _____ DATE: _____
 CITY SUBMITTAL: 06-04-2020

REVISION: _____ DATE: _____

PROJECT LOCATION:
BIG LAKE, MN

SHEET NUMBER / TITLE:
A000
 COVER SHEET

CODE INFORMATION

BUILDING CODE: 2015 MINNESOTA STATE BUILDING CODE
PLUMBING CODE: 2015 MINNESOTA STATE PLUMBING CODE
MECHANICAL CODE: 2015 MINNESOTA STATE MECHANICAL CODE
ELECTRICAL CODE: 2015 MINNESOTA ELECTRICAL CODE
FUEL GAS CODE: 2015 MINNESOTA STATE FUEL GAS CODE
LIFE-SAFETY CODE: 2015 N.F.P.A. 101 LIFE-SAFETY CODE
ENERGY CODE: 2015 MINNESOTA STATE ENERGY CODE WITH A.S.H.R.A.E. 90.1
ACCESSIBILITY CODE: 2015 MINNESOTA STATE ACCESSIBILITY CODE

A. CHAPTER 3: USE & OCCUPANCY CLASSIFICATION:
 GROUP: I-1 (SOCIAL REHABILITATION FACILITY)
 1. MORE THAN 16 PERSONS WHO RESIDE ON A 24-HOUR BASIS IN A SUPERVISED ENVIRONMENT AND RECEIVE CUSTODIAL CARE. THE PERSONS RECEIVING CARE ARE CAPABLE OF SELF-PRESERVATION.

B. CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY:

GROUP: I-1 (SOCIAL REHABILITATION FACILITY)
 1. 420.2. SEPARATION WALLS: FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.
 2. 420.3. HORIZONTAL SEPARATION: HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH SECTION 711.
 3. 420.4. AUTOMATIC SPRINKLER SYSTEM:
 A. GROUP I-1 OCCUPANCIES SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.2.6. QUICK-RESPONSE OR RESIDENTIAL AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.2.2.
 4. 420.5. SMOKE DETECTION AND FIRE ALARM SYSTEMS:
 A. FIRE ALARM SYSTEMS AND SMOKE ALARMS SHALL BE PROVIDED IN GROUP I-1 OCCUPANCIES IN ACCORDANCE WITH SECTIONS 907.2.6, 907.2.8 AND 907.2.9. SMOKE DETECTORS, SINGLE OR MULTIPLE STATION SMOKE ALARMS SHALL BE IN ACCORDANCE WITH SECTION 907.2.11.
 5. 420.6. FIRE PROTECTION OF FLOORS:
 A. FLOOR ASSEMBLIES, NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH 1/2-INCH (12.7 MM) GYPSUM WALLBOARD MEMBRANE, 5/8-INCH (16 MM) WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER.
 a. EXCEPTIONS: FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.

C. CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS:

BUILDING AREA:
 1. LEVEL 01 - 10,394 SF
 2. LEVEL 02 - 08,522 SF
 3. LEVEL 03 - 08,522 SF
 TOTAL: 18,083 SF
PROPOSED USE: I-1 (SOCIAL REHABILITATION FACILITY)
 503: ALLOWABLE AREA: 4,500 SF MAX. PER STORY
 504: ALLOWABLE HEIGHT: 2 STORIES: 40'-0" MAXIMUM
 1. 504.2: AUTOMATIC SPRINKLER SYSTEM INCREASE
 A. ALLOWABLE HEIGHT: 3 STORIES: 60'-0" MAXIMUM
 506: AREA MODIFICATION: AREA INCREASE.
 FRONTAGE INCREASE:
 $A_a = (A + A \times W) + (A \times L)$
 $W = 19 + 30 + 30 + 15 / 4 = 23.5$
 $A_a = [4,500 + (4,500 \times 59) + (4,500 \times 2)]$
 $W = 19 + 30 + 30 + 15 / 4 = 23.5$
 $A_a = 16,155 \text{ PER STORY}$
 508: MIXED USE AND OCCUPANCY
 508.4: SEPARATED OCCUPANCIES
 1. A. SEPARATED OCCUPANCY ALLOWABLE AREA CALCULATION:
 a. $(\text{GROUP ACTUAL AREA} \times \text{GROUP ALLOWABLE AREA}) + (\text{GROUP ACTUAL AREA} \times \text{GROUP ALLOWABLE AREA}) = 0.00 \pm 1.00$
 $(2941 / 21540) + (7469 / 16155) = 0.14 + 0.47 = 0.61$

D. CHAPTER 6: TYPES OF CONSTRUCTION:

TYPE: VB
 REQUIRED FIRE-RESISTIVE RATINGS:

BUILDING ELEMENT	RATING
Structural Frame	000
Bearing Walls - Exterior	000
Bearing Walls - Interior	000
Nonbearing Walls - Exterior	000
Nonbearing Walls - Interior	000
Floor Construction	000
Roof Construction	000
OCCUPANCY SEPARATION BETWEEN A-2 & I-1	1-HR

E. CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES:

708: FIRE PARTITIONS
 1. FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR.
 A. EXCEPTION 2:
 a. DWELLING UNIT AND SLEEPING UNIT SEPARATIONS IN BUILDINGS OF TYPE VB CONSTRUCTION SHALL HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 1/2 HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 711: HORIZONTAL ASSEMBLIES
 1. 711.3: FIRE RESISTANCE RATING:
 A. HORIZONTAL ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING AND HORIZONTAL ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING SHALL BE A MINIMUM OF 1-HOUR FIRE-RESISTANCE RATED CONSTRUCTION.
 a. EXCEPTION: DWELLING UNIT AND SLEEPING UNIT SEPARATIONS IN BUILDINGS OF TYPE VB CONSTRUCTION SHALL HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 1/2 HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 713: SHAFT ENCLOSURES
 1. 713.4: FIRE-RESISTANCE RATING.
 A. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES. THE NUMBER OF STORIES CONNECTED BY THE SHAFT ENCLOSURE SHALL INCLUDE ANY BASEMENTS BUT NOT ANY MEZZANINES. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THE FLOOR ASSEMBLY PENETRATED, BUT NEED NOT EXCEED 2 HOURS. SHAFT ENCLOSURES SHALL MEET THE REQUIREMENTS OF SECTION 703.2.1.
 718: CONCEALED SPACES
 1. 718.3: DRAFTSTOPPING IN FLOORS.
 A. DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE FLOOR/CEILING ASSEMBLIES IN THE LOCATIONS PRESCRIBED IN SECTIONS 718.3.2 THROUGH 718.3.3.
 2. 718.4: DRAFTSTOPPING IN ATTICS.
 A. IN COMBUSTIBLE CONSTRUCTION, DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES AND CONCEALED ROOF SPACES IN THE LOCATIONS PRESCRIBED IN SECTIONS 718.4.2 AND 718.4.3. VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 1203.2.
 3. 718.4.3 OTHER GROUPS.
 A. DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET (279 M²).
 a. EXCEPTION: DRAFTSTOPPING IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

F. CHAPTER 8: INTERIOR FINISHES:

Required Interior Wall & Ceiling Finish Classifications:

TYPE OF SPACE	FINISH CLASSIFICATION
Exit Enclosures & Exit Passageways	B
Corridors	C
Rooms & Enclosed Spaces	C

G. CHAPTER 9: FIRE PROTECTION SYSTEMS:

903: AUTOMATIC FIRE SPRINKLER SYSTEMS
 1. 903.2.6: GROUP I-1, GENERAL
 A. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT BUILDINGS WITH A GROUP I FIRE AREA.
 B. EXCEPTIONS:
 a. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.2 SHALL BE PERMITTED IN GROUP I-1 FACILITIES.
 b. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.3 SHALL BE ALLOWED IN GROUP I-1 FACILITIES WHEN IN COMPLIANCE WITH ALL OF THE FOLLOWING:
 • A HYDRAULIC DESIGN INFORMATION SIGN IS LOCATED ON THE SYSTEM RISER.
 • EXCEPTION 1 OF SECTION 903.4 IS NOT APPLIED; AND
 • SYSTEMS SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 903.3.1.2.
 907: FIRE ALARM AND DETECTION SYSTEMS
 1. 907.2.6: GROUP I-1, GENERAL
 A. A FIRE ALARM SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.6 THROUGH 907.2.6.4.2 IN GROUP I OCCUPANCIES.

H. CHAPTER 10: MEANS OF EGRESS:

1004: OCCUPANT LOAD CALCULATIONS:

LEVEL 01	FUNCTION OF SPACE	AREA	AREA/OCC	OCC LOAD
LEVEL 01	A-2 ASSEMBLY	1709	015 NE	114
	A-2 ACCESSORY	123	200 GROSS	007
	I-1 INPATIENT TREATMENT	7469	240 GROSS	032
	TOTAL OCCUPANT LOAD:			146

LEVEL 02	FUNCTION OF SPACE	AREA	AREA/OCC	OCC LOAD
LEVEL 02	I-1 INPATIENT TREATMENT	1078	240 GROSS	005
	I-1 SLEEPING AREA	7379	120 GROSS	062
	TOTAL OCCUPANT LOAD:			67

LEVEL 03	FUNCTION OF SPACE	AREA	AREA/OCC	OCC LOAD
LEVEL 03	I-1 INPATIENT TREATMENT	1078	240 GROSS	005
	I-1 SLEEPING AREA	7379	120 GROSS	062
	TOTAL OCCUPANT LOAD:			67

TOTAL BUILDING OCCUPANT LOAD: 280

1005: MEANS OF EGRESS SIZING:
 1. 1005.3: REQUIRED CAPACITY BASED ON OCCUPANT LOAD:
 A. 1005.3.1: STAIRWAYS = 13.4" PER STORY, 72" PROVIDED
 B. 1005.3.2: OTHER EGRESS COMPONENTS = 21.9" (32" MINIMUM EACH DOOR), 216" PROVIDED
 1007.8: TWO WAY COMMUNICATION REQUIRED AT EACH ELEVATOR LANDING
 1008: 1.9.6 SPECIAL DOOR LOCKING ARRANGEMENTS IN GROUP I-1 OCCUPANCIES:
 1. APPROVED SPECIAL DOOR LOCKING ARRANGEMENTS SHALL BE PERMITTED IN A GROUP I-1 OCCUPANCY WHEN A PERSON'S CLINICAL NEEDS REQUIRE SUCH LOCKING. SPECIAL LOCKING DEVICES SHALL BE PERMITTED ON DOORS IN THESE OCCUPANCIES WHEN THE BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH IBC SECTION 903.3.1.1 AND AN APPROVED AUTOMATIC SMOKE OR HEAT DETECTION SYSTEM IS INSTALLED IN ACCORDANCE WITH SECTION 907. THE SPECIAL LOCKING ARRANGEMENTS AND DEVICES ARE PERMITTED IF THEY ARE INSTALLED AND COMPLY WITH THE REQUIREMENTS IN ITEMS 1 THROUGH 10 PER 1008.1.9.6.
 1014.3: COMMON PATH OF EGRESS TRAVEL: 75'-0" MAXIMUM
 1015: EXIT AND EXIT ACCESS DOORWAYS
 1. MINIMUM NUMBER OF EXITS REQUIRED
 A. A-2 (ASSEMBLY) = 2 REQ.; 2 PROVIDED
 B. I-1 (SOCIAL REHABILITATION FACILITY) = 2 REQ.; 6 PROVIDED
 1016: EXIT ACCESS AND TRAVEL DISTANCE
 1. MAXIMUM EXIT TRAVEL DISTANCE ALLOWED
 A. A-2 (ASSEMBLY) = 250', 60'-00" PROVIDED
 B. I-1 (SOCIAL REHABILITATION FACILITY) = 250'-0", 94'-00" PROVIDED
 1018: CORRIDORS
 1. 1018.1: I-1 (SOCIAL REHABILITATION FACILITY): 1-HR RATED CORRIDOR REQUIRED

I. CHAPTER 12: INTERIOR ENVIRONMENT

1207.2: AIR-BORNE SOUND: MINIMUM STC RATING OF 50/45 FIELD TESTED) BETWEEN DWELLING UNITS OR DWELLING UNIT AND PUBLIC OR SERVICE AREAS

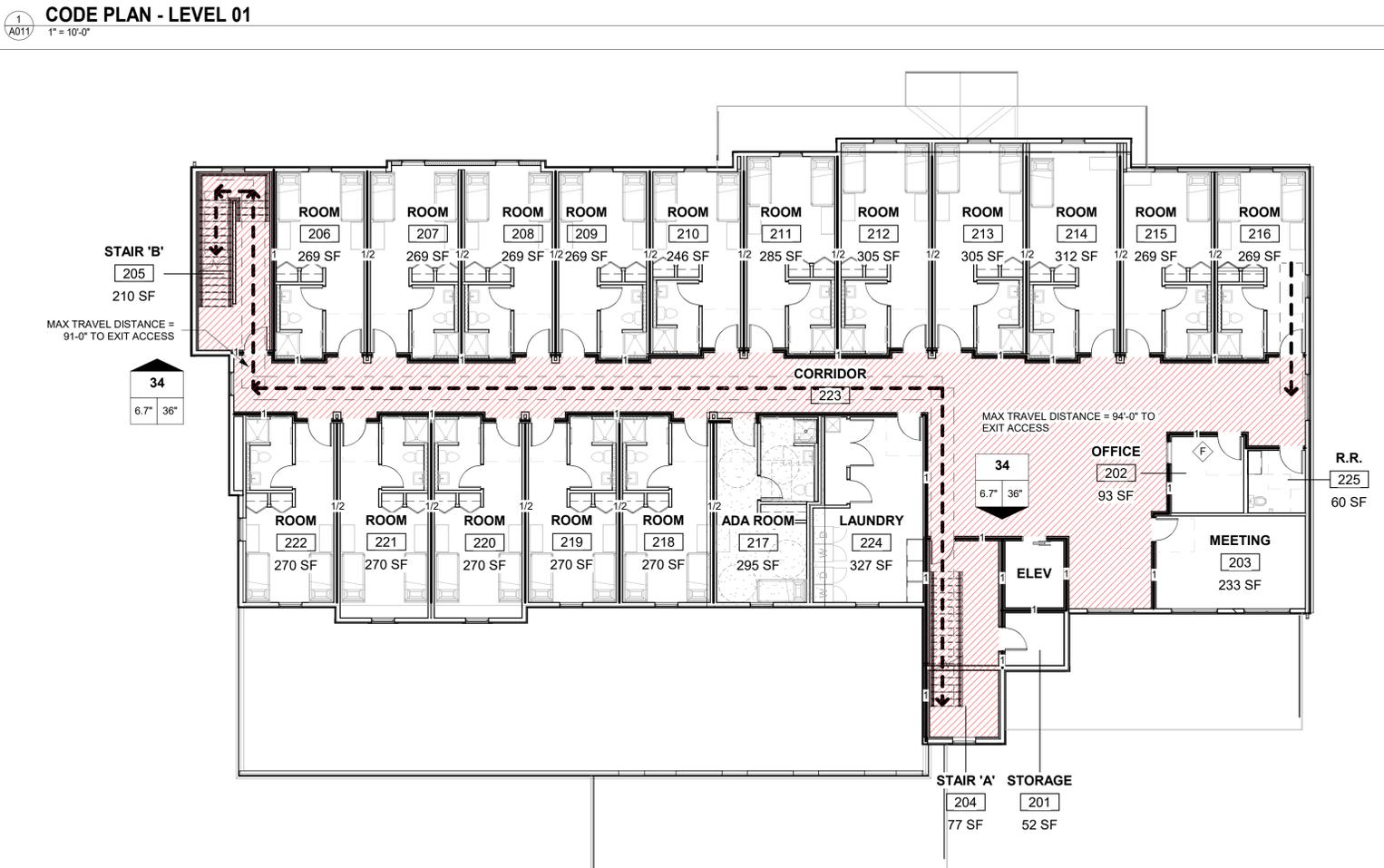
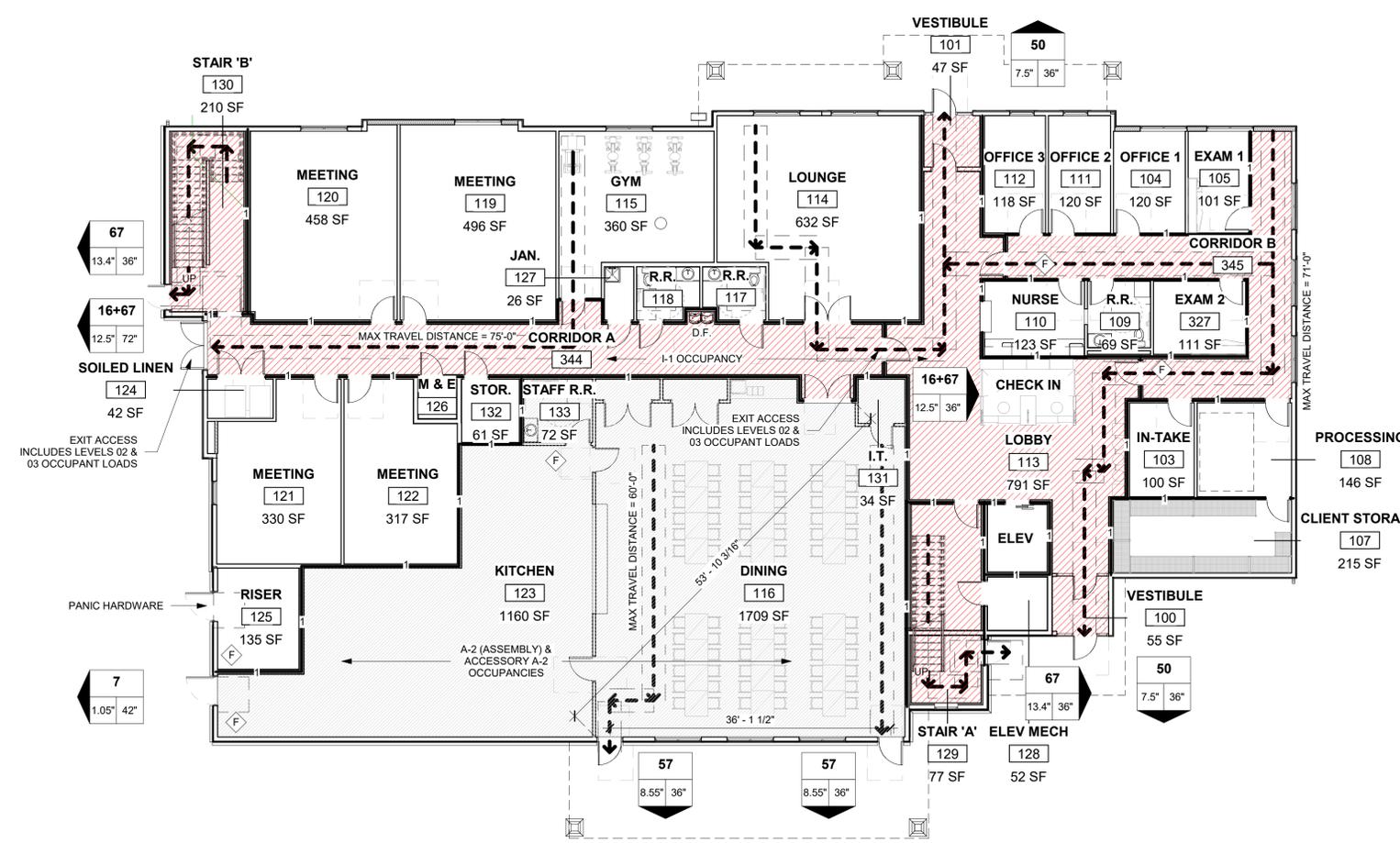
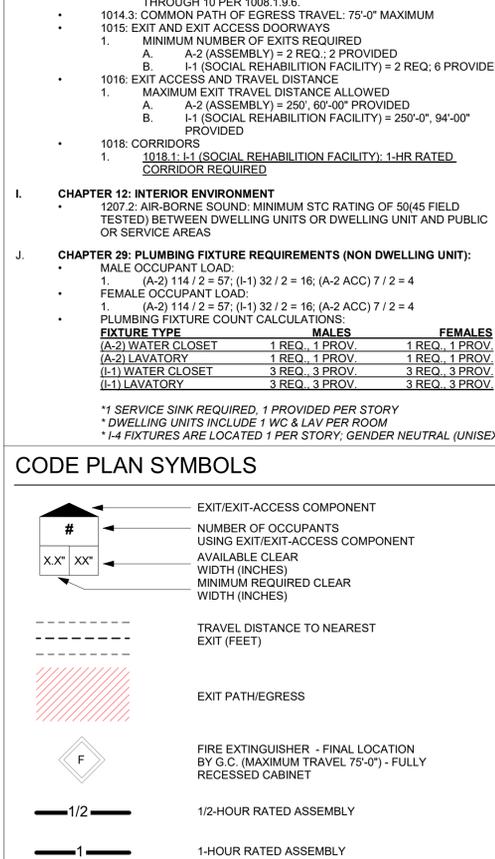
J. CHAPTER 29: PLUMBING FIXTURE REQUIREMENTS (NON DWELLING UNIT):

MALE OCCUPANT LOAD:
 1. (A-2) 114 / 2 = 57; (I-1) 32 / 2 = 16; (A-2 ACC) 7 / 2 = 4
 FEMALE OCCUPANT LOAD:
 1. (A-2) 114 / 2 = 57; (I-1) 32 / 2 = 16; (A-2 ACC) 7 / 2 = 4
 PLUMBING FIXTURE COUNT CALCULATIONS:

FIXTURE TYPE	MALES	FEMALES
(A-2) WATER CLOSET	1 REQ., 1 PROV.	1 REQ., 1 PROV.
(A-2) LAVATORY	1 REQ., 1 PROV.	1 REQ., 1 PROV.
(I-1) WATER CLOSET	3 REQ., 3 PROV.	3 REQ., 3 PROV.
(I-1) LAVATORY	3 REQ., 3 PROV.	3 REQ., 3 PROV.

* SERVICE SINK REQUIRED, 1 PROVIDED PER STORY
 * DWELLING UNITS INCLUDE 1 WC & LAV PER ROOM
 * I-4 FIXTURES ARE LOCATED 1 PER STORY; GENDER NEUTRAL (UNISEX)

CODE PLAN SYMBOLS



15 North Avenue North, Hopkins, MN 55343
 Phone: 952.541.8660 / www.wilkusarch.com

CLIENT:



PETER NYSTROM
 NYSTROM & ASSOCIATES LTD
 1900 SILVER LAKE RD NW,
 SUITE 110
 NEW BRIGHTON, MN 55112

PROJECT INFORMATION:

PROJECT NO.: 2019-0487

DRAWN BY: BMB

CHECKED BY: KPG

ISSUE: DATE:

CITY SUBMITTAL: 06-04-2020

REVISION: DATE:

PROJECT LOCATION:

BIG LAKE, MN

SHEET NUMBER/TITLE:

A011

CODE PLANS

SEAL:

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Print Name: MICHAEL J. WILKUS

Signature:

License No.: 16380

Expiration Date: 06-30-2020

Date: 06-04-2020

PROJECT NO.: 2019-0487

DRAWN BY: BMB

CHECKED BY: KPG

ISSUE: DATE:

CITY SUBMITTAL: 06-04-2020

REVISION: DATE:

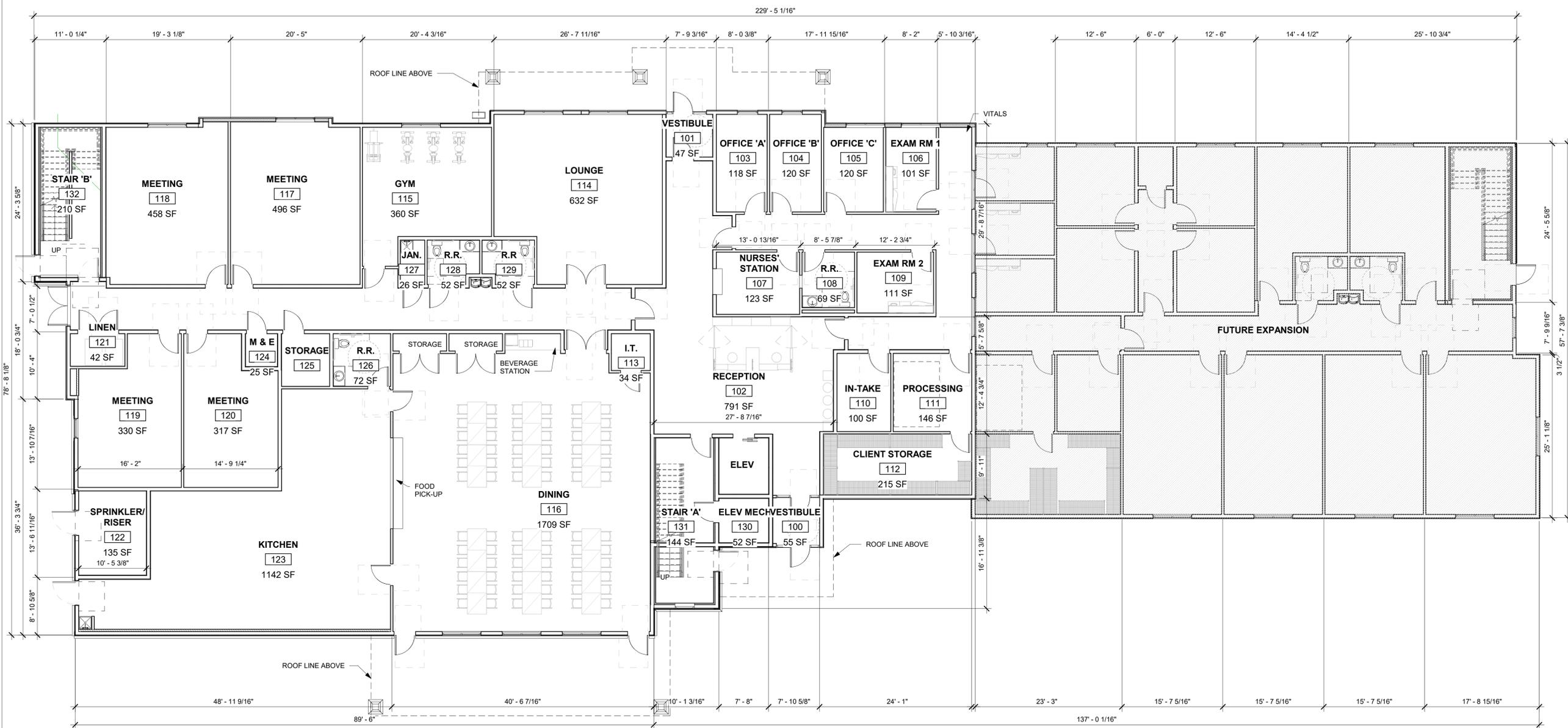
PROJECT LOCATION:

BIG LAKE, MN

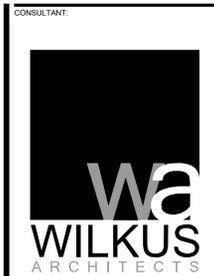
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A011

CODE PLANS



1
A210
ARCHITECTURAL FLOOR PLAN (LEVEL 01)
1/8" = 1'-0"



CLIENT:



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PROJECT INFORMATION:

**NYA - BIG LAKE
TREATMENT**
COUNTY HWY 43 & FOREST ROAD
BIG LAKE, MN 55309

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Print Name: MICHAEL J. WILKUS

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ISSUE: _____ DATE: _____
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REVISION: _____ DATE: _____

PROJECT LOCATION:
BIG LAKE, MN

SHEET NUMBER / TITLE:
A210
ARCHITECTURAL FLOOR PLAN (01)



1
A212
ARCHITECTURAL FLOOR PLAN (LEVEL 2)
1/8" = 1'-0"



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CHECKED BY: KPG

ISSUE: DATE:
CITY SUBMITTAL 06-04-2020

REVISION: DATE:

PROJECT LOCATION:
BIG LAKE, MN

SHEET NUMBER / TITLE:
A212
ARCHITECTURAL FLOOR PLAN (02)

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2
A700
EXTERIOR ELEVATION - NORTH
1" = 10'-0"



1
A700
EXTERIOR ELEVATION - EAST
1" = 10'-0"



NORTH
LAP SIDING: 1,452 SF
SHAKES: 1,378 SF
LEDGESTONE: 2,224 SF
BOARD AND BATTEN: 222 SF
GLAZING: 578 SF

EAST
LAP SIDING: 954 SF
SHAKES: 862 SF
LEDGESTONE: 647 SF
BOARD AND BATTEN: 181 SF
GLAZING: 204 SF

SOUTH
LAP SIDING: 1,748 SF
SHAKES: 1,728 SF
LEDGESTONE: 1,076 SF
BOARD AND BATTEN: 227 SF
GLAZING: 578 SF

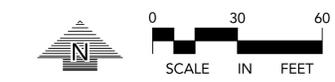
WEST
LAP SIDING: 1,377 SF
SHAKES: 845 SF
LEDGESTONE: 322 SF
BOARD AND BATTEN: 163 SF
GLAZING: 60 SF



3
A700
EXTERIOR ELEVATION - SOUTH
1" = 10'-0"



4
A700
EXTERIOR ELEVATION - WEST
1" = 10'-0"



NOTE:
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SHOWN IS FROM A BOUNDARY &
TOPOGRAPHIC SURVEY PROVIDED BY
LOUCKS, DATED MARCH, 2020.

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TREATMENT
CENTER**
BIG LAKE, MINNESOTA

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7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
663.424.5505
www.loucksinc.com

LEGEND

● FOUND OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE	—>—> STORM SEWER
○ SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"	—>—> SANITARY SEWER
⊗ CATCH BASIN	— — WATERMAIN
⊙ STORM MANHOLE	—S— SANITARY SEWER SERVICE
○ SANITARY MANHOLE	—W— WATER SERVICE
◇ HYDRANT	—ELE— UNDERGROUND ELECTRIC
⊕ GATE VALVE	—FO— UNDERGROUND FIBER OPTIC
⊕ ELECTRIC TRANSFORMER	—GAS— UNDERGROUND GAS
⊕ ELECTRIC METER	—TEL— UNDERGROUND TELEPHONE
⊕ GAS METER	—OH— OVERHEAD UTILITY
— GUY WIRE	—○— CHAIN LINK FENCE
⊕ HAND HOLE	— — CONCRETE CURB
⊕ LIGHT POLE	— — CONCRETE CURB
⊕ POWER POLE	— — EXISTING BUILDING
⊕ TELEPHONE PEDESTAL	— — CONTOUR
⊕ SIGN	— — 972.5 SPOT ELEVATION
⊕ PARKING STALL COUNT	— — TREE LINE
⊕ DISABLED PARKING STALL	— — CONIFEROUS TREE
⊕ SCHEDULE B II ITEM	— — PINE
	— — DECIDUOUS TREE
	— — ASH
	— — MAPLE
	— — TREE (GEN)

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SUBMITTAL/REVISIONS
06/02/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Trevor D. Gruys - PE
License No. 53706
Date 06/02/20

QUALITY CONTROL

Loucks Project No.	19908
Project Lead	TDG
Drawn By	ZBM/MDC
Checked By	TDG
Review Date	06/02/20

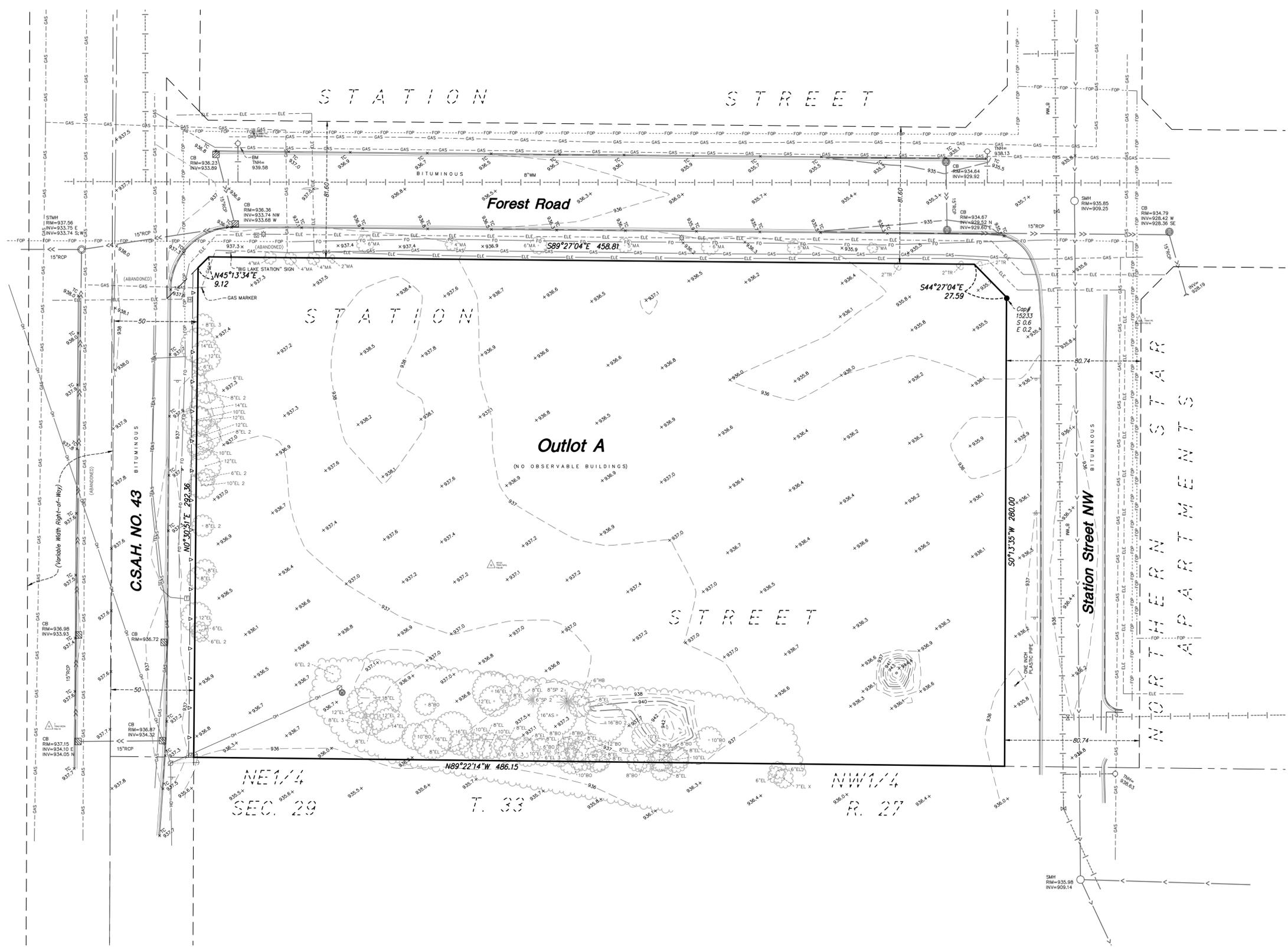
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C2-1	SITE PLAN
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C3-3	SWPPP NOTES
C4-1	UTILITY PLAN (STORM SEWER)
C4-2	UTILITY PLAN (SANITARY SEWER & WATERMAIN)
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C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS
L2-2	LANDSCAPE DETAILS

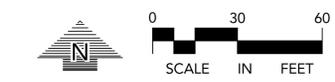
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TOLL FREE: 1-800-252-1166

WARNING:
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**EXISTING
CONDITIONS**
C1-1



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NOTE:
EXISTING CONDITIONS INFORMATION SHOWN IS FROM A BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY LOUCKS, DATED MARCH, 2020.

BIG LAKE TREATMENT CENTER
BIG LAKE, MINNESOTA

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LEGEND

● FOUND OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE	—>—> STORM SEWER
○ SET 1/2 INCH X 14 INCH IRON MONUMENT, MARKED "LS 48988"	—>— SANITARY SEWER
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⊙ STORM MANHOLE	— S — SANITARY SEWER SERVICE
○ SANITARY MANHOLE	— W — WATER SERVICE
◇ HYDRANT	— ELE — UNDERGROUND ELECTRIC
⊕ GATE VALVE	— FO — UNDERGROUND FIBER OPTIC
⊖ ELECTRIC TRANSFORMER	— GAS — UNDERGROUND GAS
⊖ ELECTRIC METER	— TEL — UNDERGROUND TELEPHONE
⊖ GAS METER	— OH — OVERHEAD UTILITY
— GUY WIRE	— CHAIN LINK FENCE
⊖ HAND HOLE	— CONCRETE CURB
⊖ LIGHT POLE	— NO PARKING
⊖ POWER POLE	— EXISTING BUILDING
⊖ TELEPHONE PEDESTAL	— CONTOUR
⊖ SIGN	— 97.25 SPOT ELEVATION
⊖ PARKING STALL COUNT	— TREE LINE
⊖ DISABLED PARKING STALL	— CONIFEROUS TREE
1 SCHEDULE B II ITEM	— PINE
	— DECIDUOUS TREE
	— ASH
	— MA MAPLE
	— TR TREE (GEN)

DEMOLITION LEGEND:

	REMOVE EXISTING BITUMINOUS PAVING
	REMOVE EXISTING TREES/WOODS
	REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.
	REMOVE EXISTING UTILITIES
	REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.
	REMOVE EXISTING TREES
	TREE PROTECTION FENCE

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SUBMITTAL/REVISIONS
06/02/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Trevor D. Grays - PE
License No. 53706
Date 06/02/20

QUALITY CONTROL
Loucks Project No. 19908
Project Lead TDG
Drawn By ZBM/MDC
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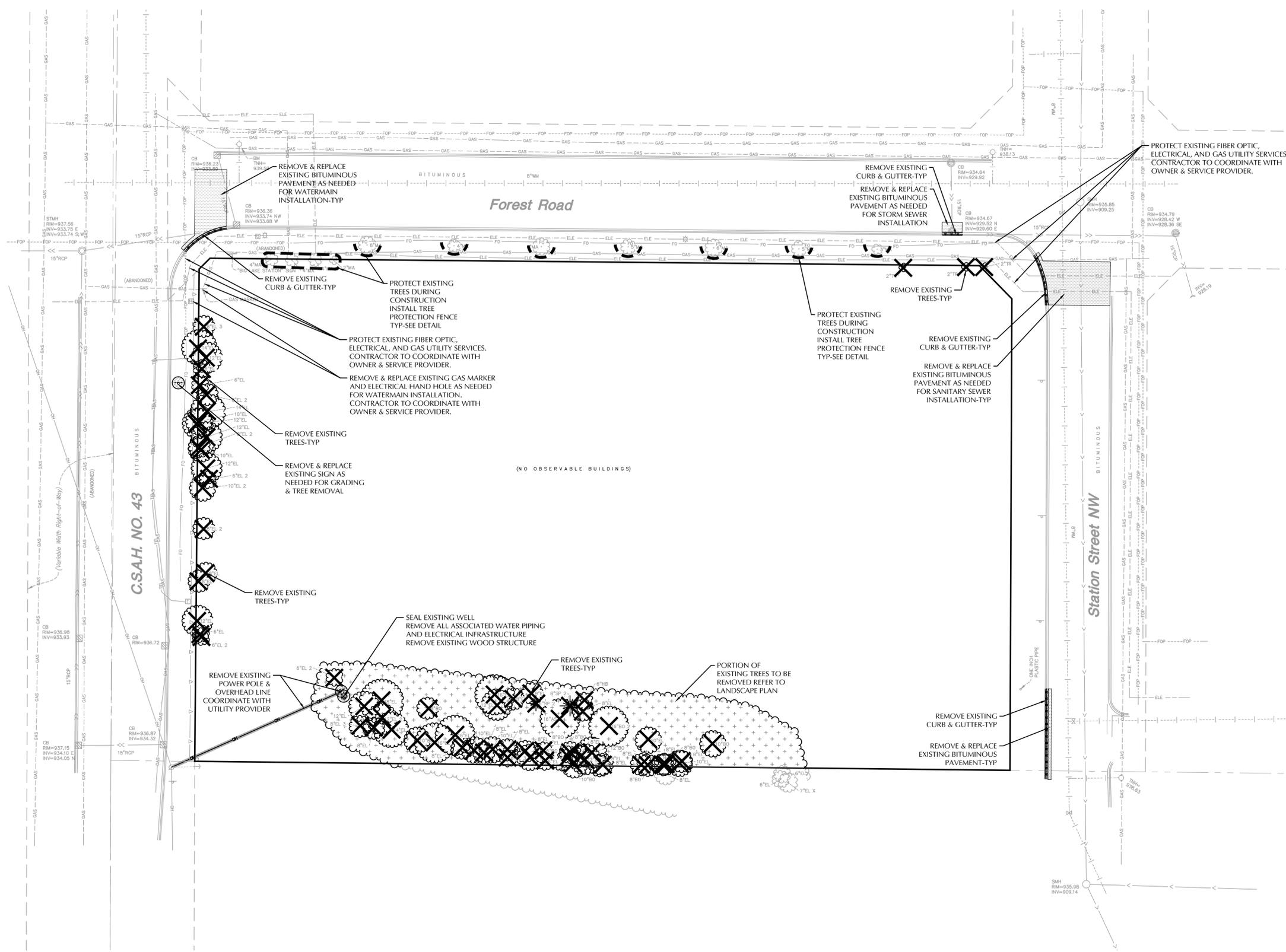
SHEET INDEX

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DEMOLITION PLAN
C1-2



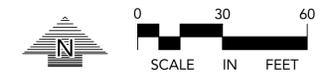
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EXISTING		PROPOSED	
	SANITARY MANHOLE		SANITARY SEWER
	STORM MANHOLE		STORM SEWER
	CATCH BASIN		WATERMAIN
	CLVERT		FORCEMAIN
	HYDRANT		DRAIN TILE
	GATE VALVE		CURB & GUTTER
	POST INDICATOR VALVE		RETAINING WALL
	LIGHT POLE		TREE LINE
	POWER POLE		EASEMENT LINE
	SIGN		SETBACK LINE
	BENCHMARK		FENCE LINE
	SOIL BORINGS		UNDERGROUND TELE
	WATER MANHOLE		UNDERGROUND GAS
	TELEPHONE MANHOLE		OVERHEAD UTILITY
	UTILITY MANHOLE		UNDERGROUND FIBER OPTIC
	ELECTRIC MANHOLE		UNDERGROUND ELECTRIC
	WATER SERVICE		UNDERGROUND CABLE TV
	SANITARY SERVICE		PROPERTY LINE
	HANDICAP PARKING		CONIFEROUS TREE
	DIRECTION OF FLOW		DECIDUOUS TREE
	SPOT ELEVATION		PARKING COUNTS
	CONTOURS		



NOTE:
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PAVEMENT TYPES	
	CONCRETE SIDEWALK
	DECORATIVE CONCRETE BANDING
	CONCRETE PAVEMENT
	LIGHT DUTY BITUMINOUS PAVEMENT
	HEAVY DUTY BITUMINOUS PAVEMENT

NOTE:
 SEE PAVEMENT SECTIONS ON SHEET C8-1 AND C8-2 FOR TYPE AND DEPTH INFORMATION.

BIG LAKE TREATMENT CENTER
 BIG LAKE, MINNESOTA

BRIGHTON PROFESSIONAL BUILDING
 1900 SILVER LAKE ROAD
 SUITE 110
 NEW BRIGHTON, MN 55112

LOUCKS
 PLANNING
 CIVIL ENGINEERING
 LAND SURVEYING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL
 7200 Hemlock Lane, Suite 300
 Maple Grove, MN 55369
 763.424.5505
 www.loucksinc.com

SITE DATA
 CURRENT ZONING: A - AGRICULTURAL
 PROPOSED ZONING: PUD - TRANSIT-ORIENTED DEVELOPMENT "STATION ZONE"

PROPERTY AREA: 3.33 AC
 DISTURBED AREA: 2.53 AC
 EXISTING IMPERVIOUS AREA: 0 AC
 PROPOSED IMPERVIOUS AREA: 1.21 AC
 *EXISTING & PROPOSED IMPERVIOUS AREAS ARE BASED ON DISTURBED AREA ONLY

DEVELOPMENT AND DESIGN STANDARDS
 YARD (BUILDING) SETBACKS:
 FRONT 5 FT MINIMUM / 25 FT MAXIMUM
 SIDE 0 FT MINIMUM / 25 FT MAXIMUM
 REAR 15 FT MINIMUM

OFF-STREET PARKING AND DESIGN STANDARD REQUIREMENTS
 MINIMUM PARKING LAYOUT DIMENSIONS (90 DEGREE PATTERN):
 PARKING SPACE WIDTH = 9 FT
 PARKING SPACE LENGTH = 20 FT
 MANEUVERING LANE WIDTH = 24 FT

OFF-STREET PARKING CALCULATIONS
 TOTAL PARKING REQUIRED = 43 STALLS
 TOTAL PARKING PROVIDED = 43 STALLS

ACCESSIBLE PARKING
 PROPOSED ACCESSIBLE PARKING PROVIDED: 2 STALLS
 REQUIRED ACCESSIBLE PARKING: 2 STALLS**

**REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES FOR 1 TO 50 STALLS

- SITE NOTES**
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
 - ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
 - ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
 - TYPICAL FULL SIZED PARKING STALL IS 9' X 18' UNLESS OTHERWISE NOTED.
 - ALL CURB RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
 - BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
 - SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING.

- SIGNAGE AND STRIPING NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SIGNAGE AND STRIPING AS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL PAINT ALL ACCESSIBLE STALLS, LOGOS AND CROSS HATCH LOADING AISLES WITH WHITE PAVEMENT MARKING PAINT, 4" IN WIDTH.
 - CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS, AS SHOWN, IN WHITE PAINT.
 - ALL SIGNAGE SHALL INCLUDE POST, CONCRETE FOOTING AND STEEL CASING WHERE REQUIRED.
 - ALL SIGNAGE NOT PROTECTED BY CURB, LOCATED IN PARKING LOT OR OTHER PAVED AREAS TO BE PLACED IN STEEL CASING, FILLED WITH CONCRETE AND PAINTED YELLOW. REFER TO DETAIL.
 - ANY/ALL STOP SIGNS TO INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT, PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK IF APPLICABLE. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO CURB.
 - ALL SIGNS TO BE PLACED 18" BEHIND BACK OF CURB UNLESS OTHERWISE NOTED.

CADD QUALIFICATION
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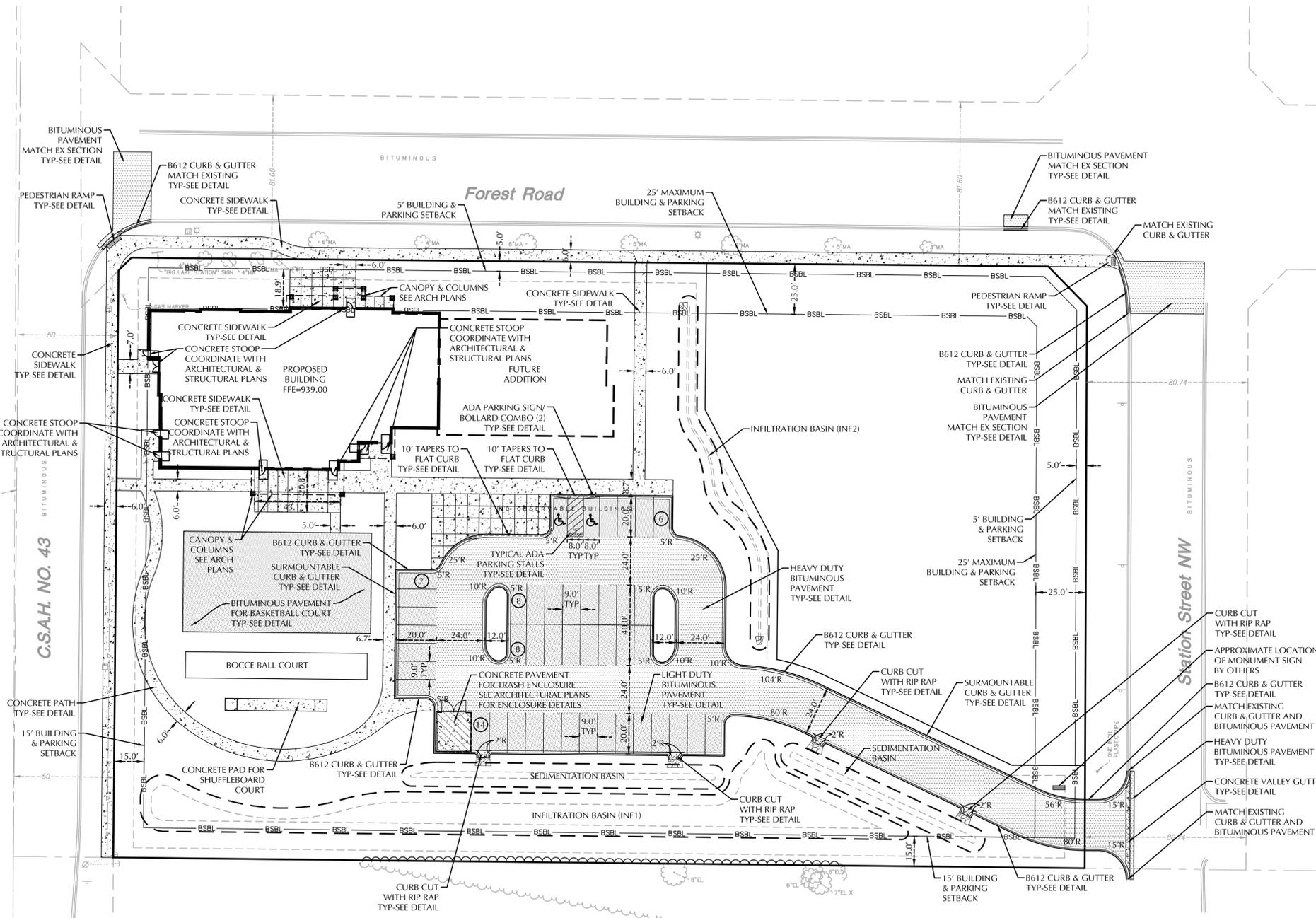
PROFESSIONAL SIGNATURE
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Trevor D. Grays - PE

License No. 53706
 Date 06/02/20

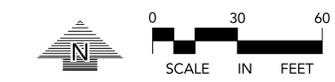
QUALITY CONTROL
 Loucks Project No. 19908
 Project Lead TDG
 Drawn By ZBM/MDC
 Checked By TDG
 Review Date 06/02/20

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C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS
L2-2	LANDSCAPE DETAILS

SITE PLAN
C2-1



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NOTE:
EXISTING CONDITIONS INFORMATION
SHOWN IS FROM A BOUNDARY &
TOPOGRAPHIC SURVEY PROVIDED BY
LOUCKS, DATED MARCH, 2020.

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TREATMENT
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CIVIL LEGEND

EXISTING	PROPOSED

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GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL ACCESSIBLE ROUTES SHALL NOT EXCEED 2% CROSS SLOPE OR 5% RUNNING SLOPE.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- REFER TO THE GEOTECHNICAL EVALUATION REPORT (REPORT NO. B2002344), DATED APRIL 10, 2020, AS PREPARED BY BRAUN INTERTEC FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS.
- STREETS MUST BE CLEANED AND SWEEP WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Trevor D. Grays - PE

License No. 53706
Date 06/02/20

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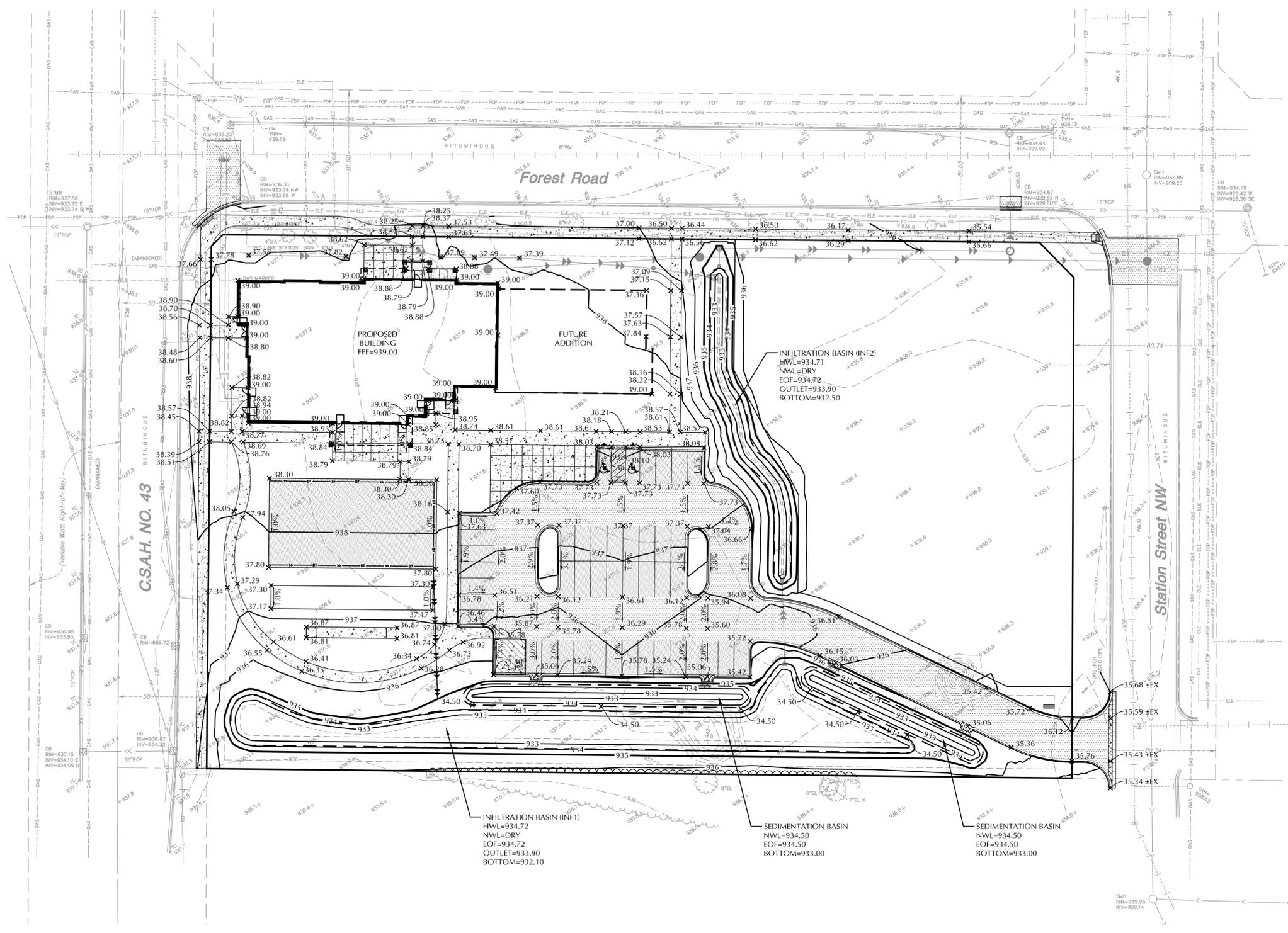
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Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**GRADING AND
DRAINAGE
PLAN**
C3-1

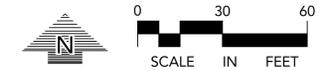


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Plotted: 06/02/2020 5:23 PM W:\2019\19908\CADD\DATA\CML_dwg\Sheet Files\C3-2 SWPPP

SWPPP LEGEND

- SILT FENCE
- BIO ROLLS
- INLET PROTECTION
- EXISTING DRAINAGE PATTERN
- PROPOSED DRAINAGE PATTERN
- EROSION CONTROL BLANKET
- ROCK CONSTRUCTION ENTRANCE



NOTE:
EXISTING CONDITIONS INFORMATION SHOWN IS FROM A BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY LOUCKS, DATED MARCH, 2020.

CIVIL LEGEND

- | EXISTING | PROPOSED |
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Trevor D. Gruys - PE

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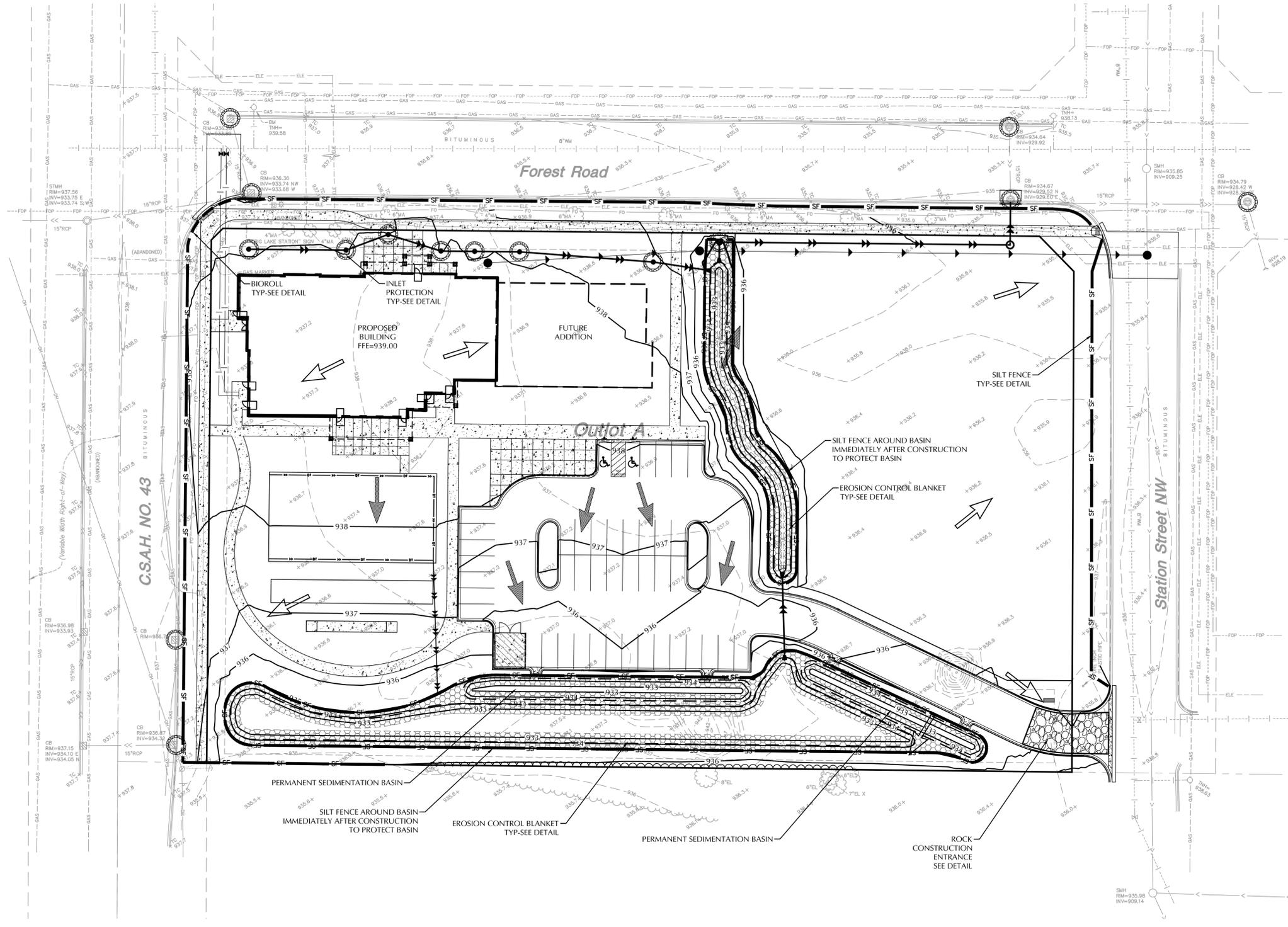
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STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C3-2



SWPPP NOTES

- THE NATURE OF THIS PROJECT WILL CONSIST OF CONSTRUCTING A PROPOSED BUILDING, PARKING LOT, SURFACE PAVEMENTS, TWO INFILTRATION BASINS, AND UTILITIES.
- THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES ARE AS FOLLOWS:
 - INSTALL VEHICLE TRACKING BMP
 - INSTALL INLET PROTECTION
 - INSTALL SILT FENCE AND BIO-ROLLS AROUND SITE
 - CLEAR AND GRUB SITE
 - STRIP AND STOCKPILE TOPSOIL
 - REMOVE PAVEMENTS AND UTILITIES
 - ROUGH GRADE SITE
 - IMPORT CLEAN FILL FOR REPLACEMENT AND BALANCE
 - INSTALL UTILITIES
 - INSTALL BUILDING FOUNDATIONS
 - INSTALL CURB AND GUTTER
 - INSTALL PAVEMENTS AND WALKS
 - FINAL GRADE SITE
 - REMOVE ACCUMULATED SEDIMENT FROM STORMWATER SYSTEMS
 - SEED AND MULCH
 - WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE SILT FENCE, BIO-ROLLS, INLET PROTECTION, AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.
- SITE DATA

DISTURBED AREA:	2.33 AC
PRE-CONSTRUCTION IMPERVIOUS AREA:	0.0 AC
POST-CONSTRUCTION IMPERVIOUS AREA:	1.21 AC

GENERAL SOIL TYPE: SEE GEOTECHNICAL EVALUATION REPORT
- EROSION AND SEDIMENT CONTROLS WERE DESIGNED TO EFFECTIVELY CONTROL STORMWATER RUNOFF WITHIN THE PROJECT AREAS. EROSION AND SEDIMENT CONTROL HAVE BEEN PROPOSED TO MINIMIZE CHANNEL EROSION AND SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS. FACTORS THAT WERE CONSIDERED INCLUDE PROPOSED IMPERVIOUS AREAS, SLOPE OF IMPERVIOUS SURFACES, STORMWATER INFRASTRUCTURE DISCHARGE POINTS, AND ANNUAL AVERAGE PRECIPITATION DATA FOR THE PROJECT AREA.

SHERBURNE COUNTY RECEIVES AN AVERAGE OF 32 INCHES OF PRECIPITATION PER YEAR. THE FOLLOWING SHERBURNE COUNTY 24-HOUR STORM EVENTS ARE BASED ON ATLAS 14 RAINFALL DATA:

10-YR	4.11 INCHES
100-YR	6.63 INCHES
- SEE "EXHIBIT:PROPOSED DRAINAGE AREAS" FOR SITE MAP WITH DRAINAGE AREA BOUNDARIES.
- THE LOCATION OF AREAS NOT TO BE DISTURBED MUST BE IDENTIFIED WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC. BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL INSTALL RAIN GAUGE ON SITE.
- NO DEWATERING IS EXPECTED TO OCCUR ON SITE.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN (7) OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SOODING (ONLY AVAILABLE PRIOR TO SEPTEMBER 15) OR BY MULCHING OR COVERING OR OTHER EQUIVALENT CONTROL MEASURE.
- ON SLOPES 3:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES. SLOPE LENGTHS CAN NOT BE GREATER THAN 75 FEET.

☐ DENOTES SLOPES GREATER THAN 3:1. ALL 3:1 SLOPES TO BE STABILIZED WITH EROSION CONTROL BLANKET
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- SOIL COMPACTION SHALL BE MINIMIZED DURING CONSTRUCTION.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED ON ALL DOWNGRADIENT PERIMETERS AND UPGRADIENT OF ANY BUFFER ZONES.
- SEDIMENT LADEN WATER MUST BE DISCHARGED TO A SEDIMENTATION BASIN WHENEVER POSSIBLE. IF NOT POSSIBLE, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S.
- SOLID WASTE MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
- EXTERNAL WASHING OF CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE PROPERLY CONTAINED.
- NO ENGINE DEGREASING IS ALLOWED ON SITE.
- THE OWNER WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE AND IS RESPONSIBLE FOR COMPLIANCE WITH ALL TERMS AND CONDITIONS OF THE PERMIT. THE OPERATOR (CONTRACTOR) WHO SIGNS THE NPDES PERMIT APPLICATION IS A PERMITTEE FOR PARTS I.B., PART I.C., PART II.B-F, PART V, PART IV AND APPLICABLE CONSTRUCTION ACTIVITY REQUIREMENTS FOUND IN APPENDIX A, PART C. OF THE NPDES PERMIT AND IS JOINTLY RESPONSIBLE WITH THE OWNER FOR COMPLIANCE WITH THOSE PORTIONS OF THE PERMIT.
- TERMINATION OF COVERAGE-PERMITTEE(S) WISHING TO TERMINATE COVERAGE MUST SUBMIT NOTICE OF TERMINATION (NOT) TO THE MPCA. ALL PERMITTEE(S) MUST SUBMIT A NOT WITHIN 30 DAYS AFTER THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - PERMIT TERMINATION CONDITIONS, PER NPDES PERMIT SECTION 13.1 HAVE BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE.
 - PERMANENT UNIFORM PERENNIAL VEGETATIVE COVER MUST BE ESTABLISHED AT 70% DENSITY OF ITS EXPECTED FINAL GROWTH.
 - THE PERMANENT STORMWATER TREATMENT SYSTEM IS CONSTRUCTED, MEETS ALL REQUIREMENTS, AND IS OPERATING AS DESIGNED.
 - ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMP'S MUST BE REMOVED.
 - CLEAN OUT SEDIMENT FROM CONVEYANCE SYSTEMS AND PERMANENT STORMWATER TREATMENT SYSTEMS (RETURN TO DESIGN CAPACITY).

- INSPECTIONS
 - INITIAL INSPECTION FOLLOWING SILT FENCE INSTALLATION BY CITY REPRESENTATIVE IS REQUIRED.
 - EXPOSED SOIL AREAS: ONCE EVERY 7 DAYS AND WITHIN 24 HOURS FOLLOWING A 0.5" OVER 24 HOUR RAIN EVENT.
 - STABILIZED AREAS: ONCE EVERY 30 DAYS
 - FROZEN GROUND: AS SOON AS RUNOFF OCCURS OR PRIOR TO RESUMING CONSTRUCTION.
 - INSPECTION AND MAINTENANCE RECORDS MUST BE RETAINED FOR 3 YEARS AFTER FILING OF THE NOTICE OF TERMINATION AND MUST INCLUDE: DATE AND TIME OF ACTION, NAME OF PERSON(S) CONDUCTING WORK, FINDING OF INSPECTIONS AND RECOMMENDATIONS FOR CORRECTIVE ACTION, DATE AND AMOUNT OF RAINFALL EVENTS GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD.
 - OBSERVE ANY DISCHARGE OCCURRING ONSITE AND DOCUMENT CORRECTIVE ACTIONS TAKEN. DISCHARGE SHOULD BE DESCRIBED AND PHOTOGRAPHED.
- MINIMUM MAINTENANCE
 - ALL NONFUNCTIONAL BMP'S MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY OR AS SOON AS FIELD CONDITIONS ALLOW.
 - SILT FENCE TO BE REPAIRED, REPLACED, SUPPLEMENTED WHEN NONFUNCTIONAL, OR 1/3 FULL; WITHIN 24 HOURS
 - SEDIMENT BASINS DRAINED AND SEDIMENT REMOVED WHEN REACHES 1/2 STORAGE VOLUME.
 - SEDIMENT REMOVED FROM SURFACE WATERS WITHIN (7)SEVEN DAYS
 - CONSTRUCTION SITE EXITS INSPECTED, TRACKED SEDIMENT REMOVED WITH 24 HOURS.
 - PROVIDE COPIES OF EROSION INSPECTION RESULTS TO CITY ENGINEER FOR ALL EVENTS GREATER THAN 1/2" IN 24 HOURS
- THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION ACTIVITY BY THE PERMITTEE(S) WHO HAVE OPERATIONAL CONTROL OF THE SITE.
- OWNER MUST KEEP RECORDS OF ALL PERMITS REQUIRED FOR THE PROJECT, THE SWPPP, ALL INSPECTIONS AND MAINTENANCE, PERMANENT OPERATION AND MAINTENANCE AGREEMENTS, AND REQUIRED CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER MANAGEMENT SYSTEMS. THESE RECORDS MUST BE RETAINED FOR THREE YEARS AFTER FILING NPDES NOTICE OF TERMINATION.
- SWPPP MUST BE AMENDED WHEN:
 - THERE IS A CHANGE IN DESIGN, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS THAT HAS A SIGNIFICANT EFFECT ON DISCHARGE
 - INSPECTIONS INDICATE THAT THE SWPPP IS NOT EFFECTIVE AND DISCHARGE IS EXCEEDING WATER QUALITY STANDARDS.
 - THE BMP'S IN THE SWPPP ARE NOT CONTROLLING POLLUTANTS IN DISCHARGES OR IS NOT CONSISTENT WITH THE TERMS AND CONDITIONS OF THE PERMIT.
- CONCRETE WASHOUT AREA
 - CONTRACTOR TO PROVIDE PREFABRICATED CONCRETE WASH-OUT CONTAINER WITH RAIN PROTECTION PER PLAN.
 - CONCRETE WASH-OUT TO BE IDENTIFIED WITH SIGNAGE STATING "CONCRETE WASHOUT AREA DO NOT OVERFILL"
 - CONCRETE WASHOUT WATER NEEDS TO BE PUMPED WITHIN 24 HOURS OF STANDING WATER IN WASHOUT AREA.
- IN THE EVENT OF ENCOUNTERING A WELL OR SPRING DURING CONSTRUCTION CONTRACTOR TO CEASE CONSTRUCTION ACTIVITY AND NOTIFY ENGINEER.
- PIPE OULETTS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER.
- FINAL STABILIZATION

FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACVTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
- RESPONSIBILITIES
 - THE OWNER MUST IDENTIFY A PERSON WHO WILL OVERSEE THE SWPPP IMPLEMENTATION AND THE PERSON RESPONSIBLE FOR INSPECTION AND MAINTENANCE:

CONTACT: _____

COMPANY: _____

PHONE: _____
 - THE OWNER MUST IDENTIFY THE A PERSON WHO WILL BE RESPONSIBLE FOR LONG TERM OPERATIONS AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEM:

CONTACT: _____

COMPANY: _____

PHONE: _____
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS OR AS-BUILT DRAWINGS VERIFYING PROPER CONSTRUCTION OF THE BMP'S.

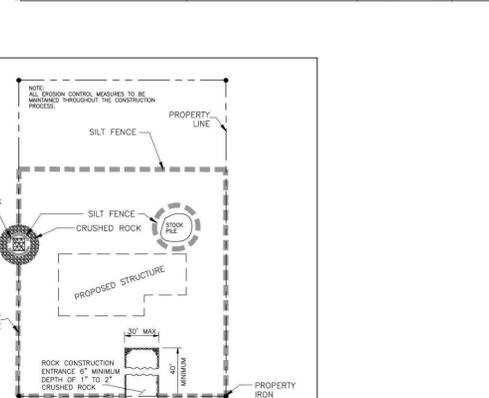
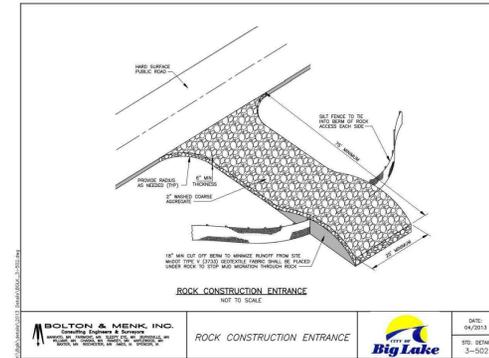
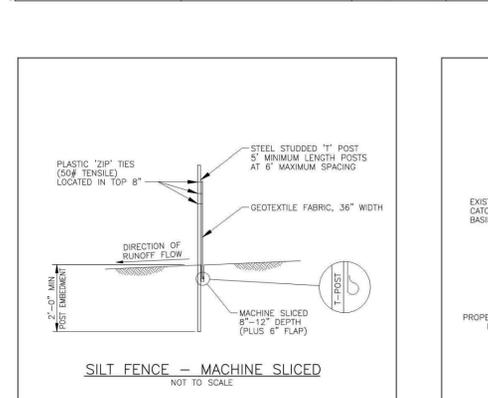
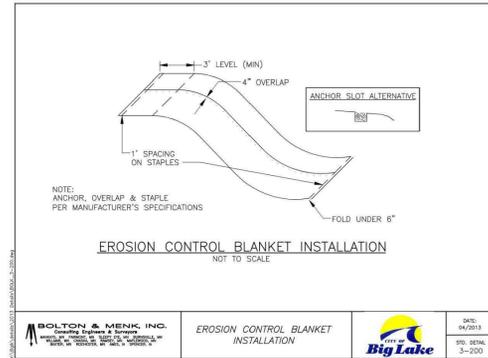
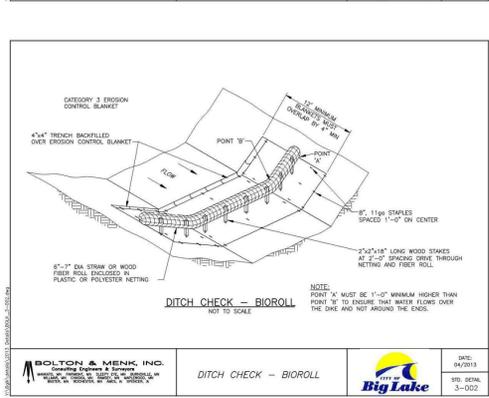
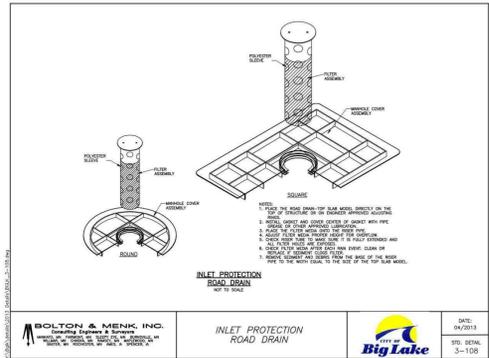
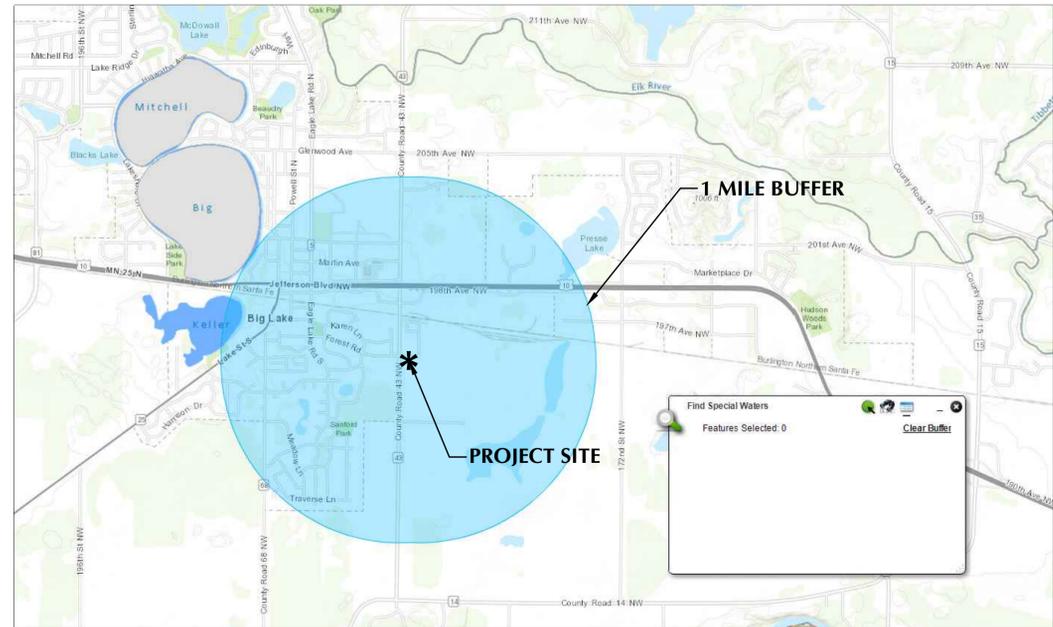
SITE VICINITY MAP



ESTIMATED QUANTITIES

DESCRIPTION	UNIT	QUANTITY
TEMPORARY ROCK CONSTRUCTION ENTRANCE	EA	1
PREFABRICATED CONCRETE WASHOUT	EA	N/A
SILT FENCE (STANDARD)	LF	955
POST CONSTRUCTION SILT FENCE (STANDARD)	LF	2,480
EROSION CONTROL BLANKET	SY	1,475
INLET PROTECTION	EA	15
BIO-ROLL	LF	45

CONSTRUCTION STORMWATER SPECIAL WATERS SEARCH MAP



UNIVERSITY OF MINNESOTA
Trevor Gruys
Design of Construction SWPPP (May 31 2020)

BIG LAKE TREATMENT CENTER
BIG LAKE, MINNESOTA

BRIGHTON PROFESSIONAL BUILDING
1900 SILVER LAKE ROAD
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SUBMITTAL/REVISIONS
06/02/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Trevor D. Gruys - PE
License No. 53706
Date 06/02/20

QUALITY CONTROL
Loucks Project No. 19908
Project Lead TDG
Drawn By ZBM/MDC
Checked By TDG
Review Date 06/02/20

SHEET INDEX

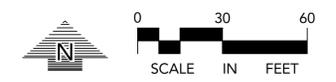
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C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS
L2-2	LANDSCAPE DETAILS

SWPPP NOTES AND DETAILS
C3-3



Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166

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 BIG LAKE, MINNESOTA

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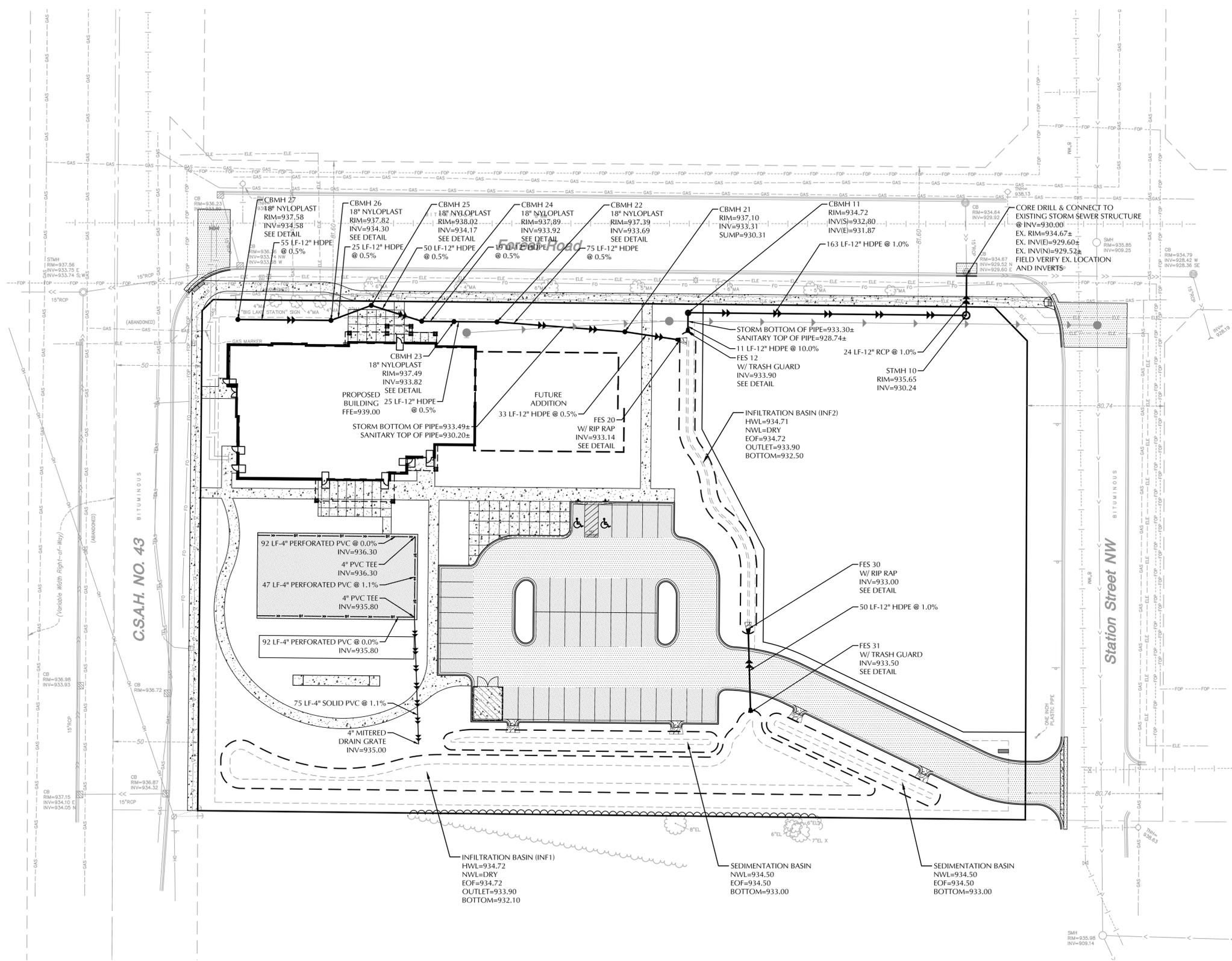
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 Trevor D. Grays - PE
 License No. 53706
 Date 06/02/20

QUALITY CONTROL
 Loucks Project No. 19908
 Project Lead TDG
 Drawn By ZBM/MDC
 Checked By TDG
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L2-1	LANDSCAPE DETAILS
L2-2	LANDSCAPE DETAILS

UTILITY PLAN STORM SEWER
C4-1



- UTILITY NOTES**
- ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 2018 EDITION.
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 - PROPOSED PIPE MATERIALS:

WATERMAIN	CL 52 DIP	6" DIAMETER
SANITARY SEWER	PVC SDR 35	6" TO 8" DIAMETER
STORM SEWER	DUAL WALL HDPE	12" DIAMETER
	RCP	4" DIAMETER
	PERFORATED PVC	4" DIAMETER
	SCH 40 PVC	4" DIAMETER
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CIVIL LEGEND

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Trevor D. Grays - PE
License No. 53706
Date 06/02/20

QUALITY CONTROL

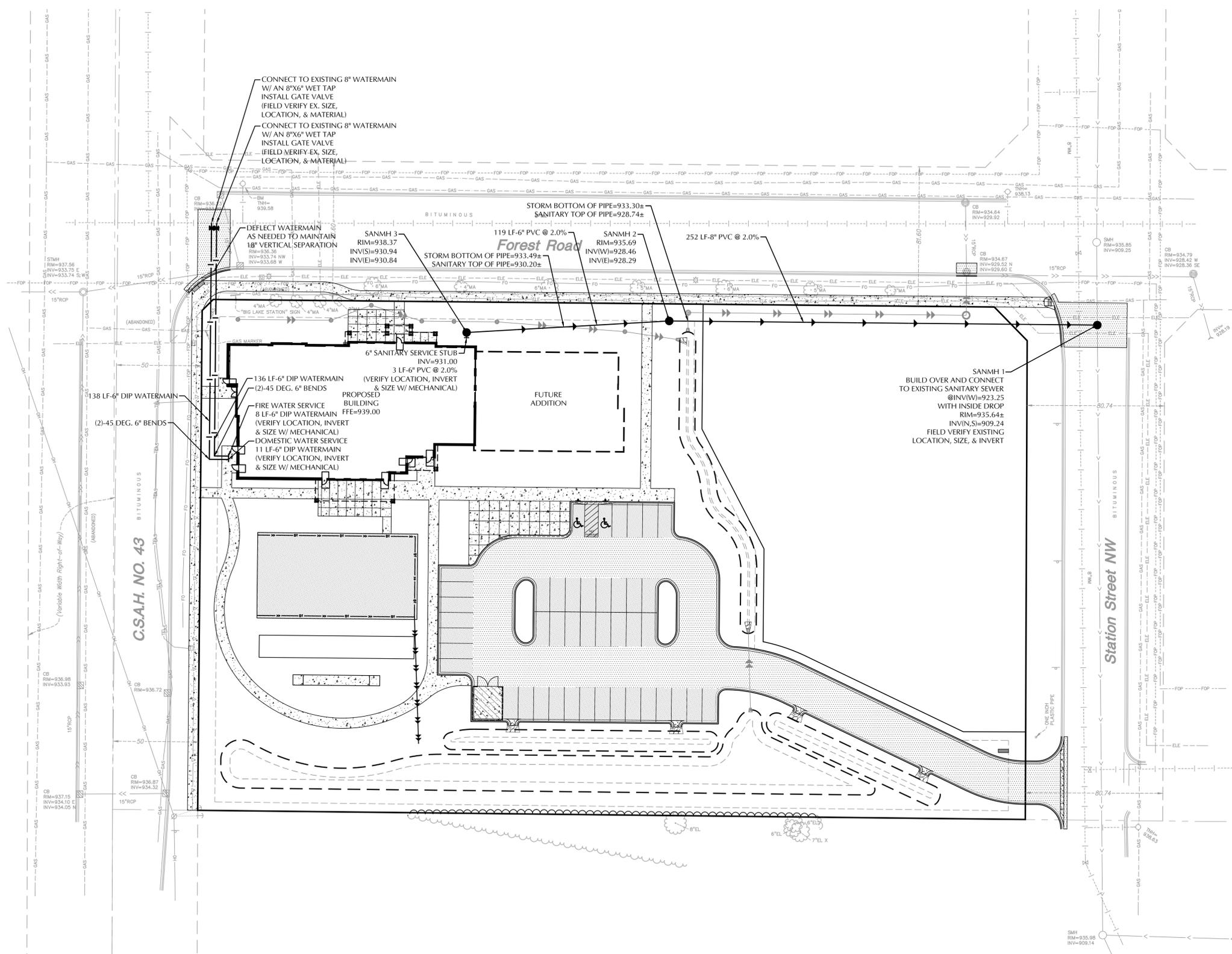
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**UTILITY PLAN
SANITARY
SEWER &
WATERMAIN**

C4-2



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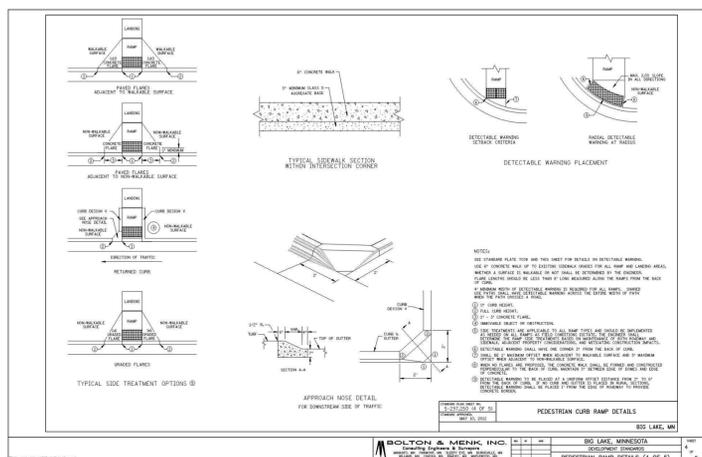
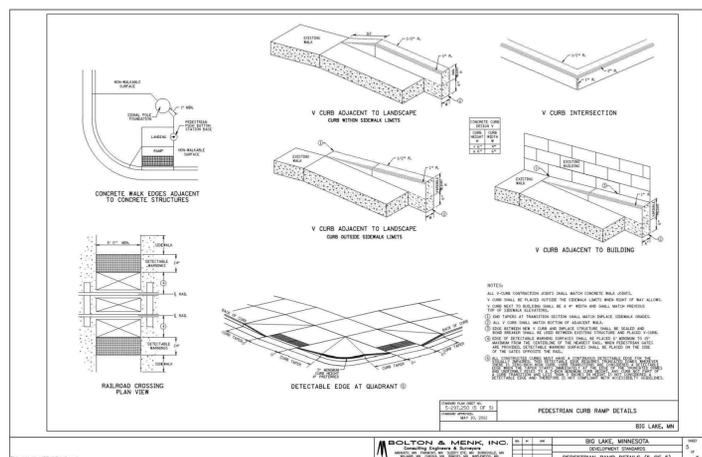
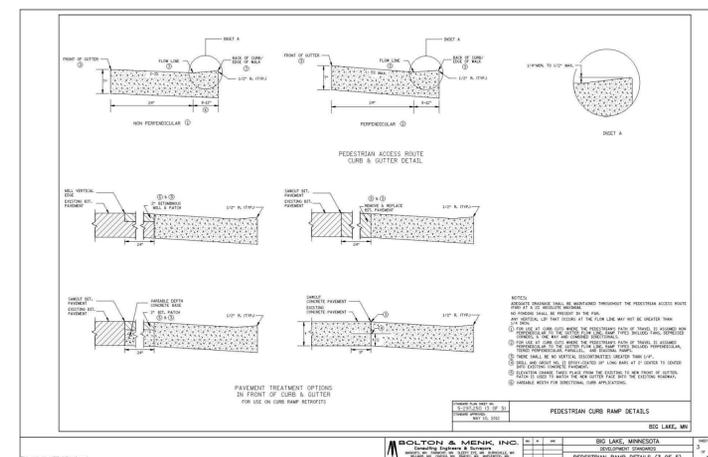
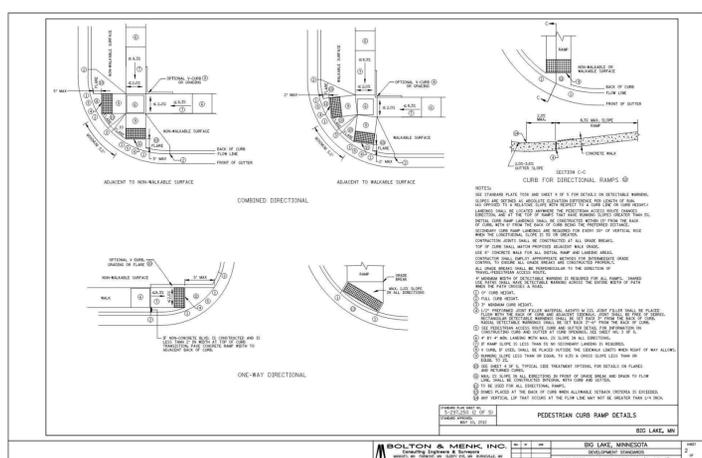
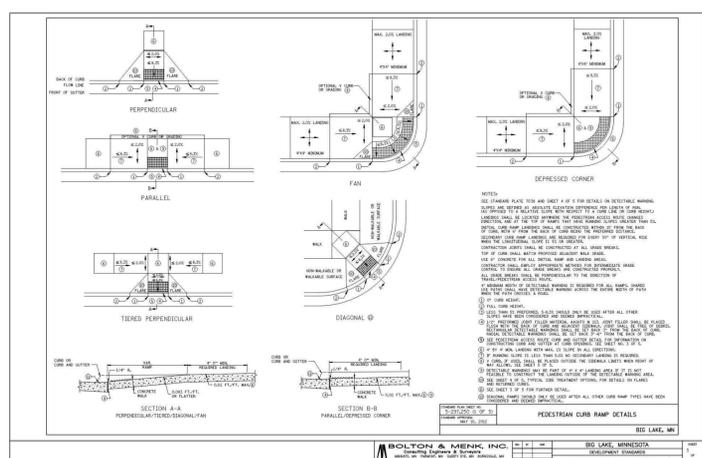
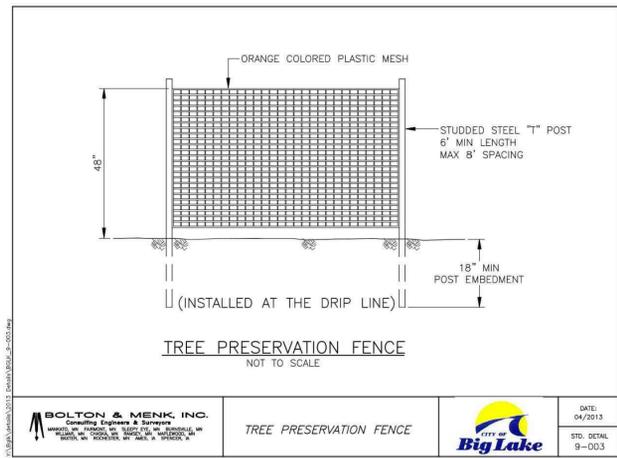
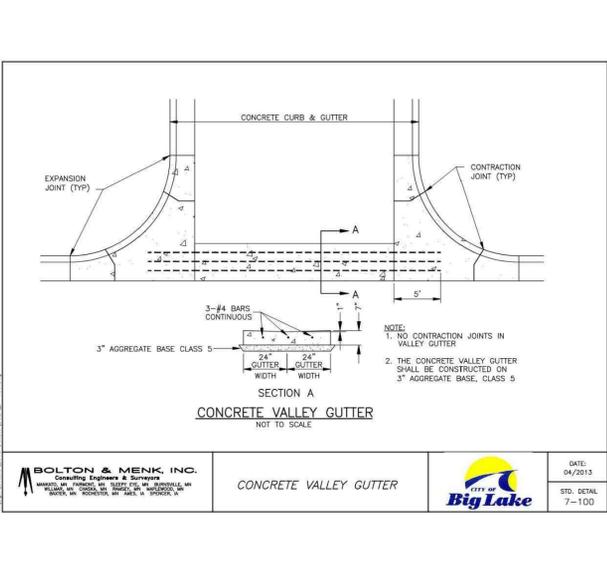
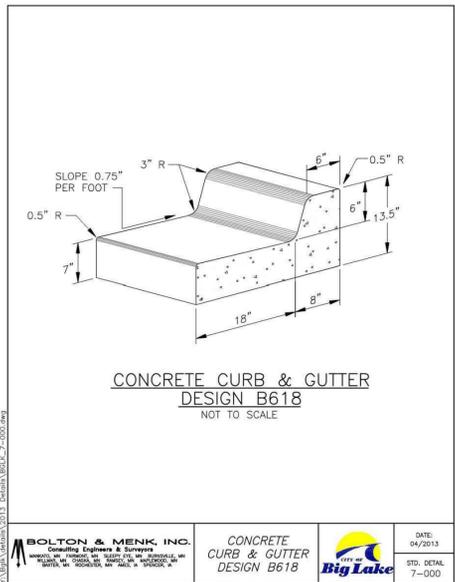
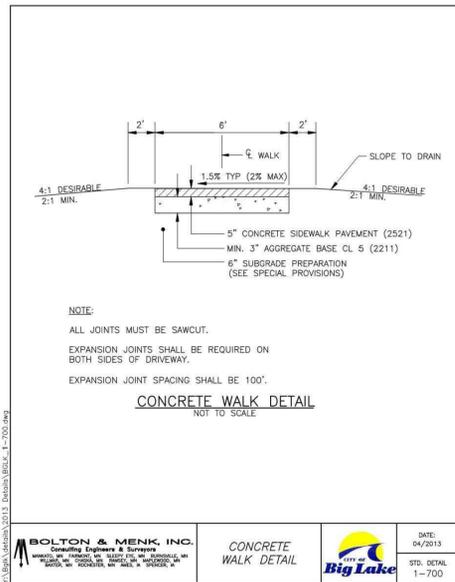
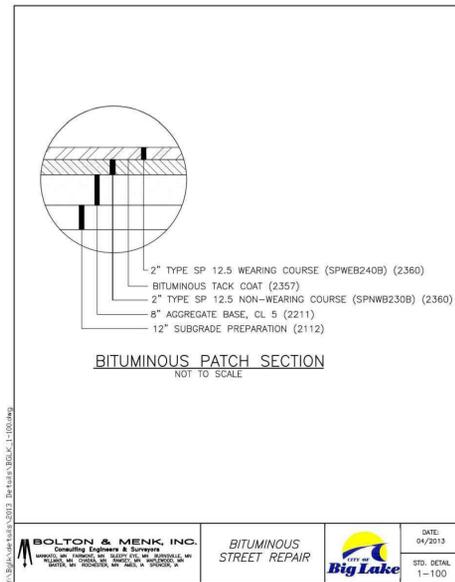
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Date 06/02/20

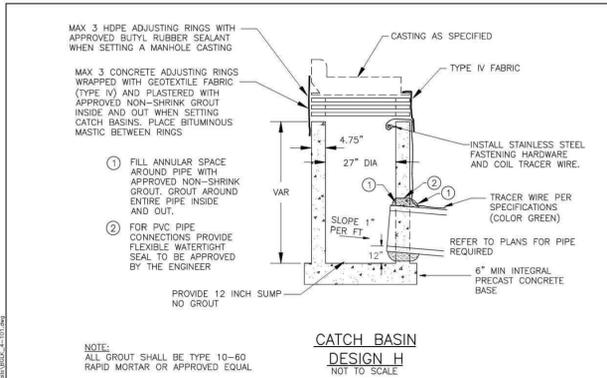
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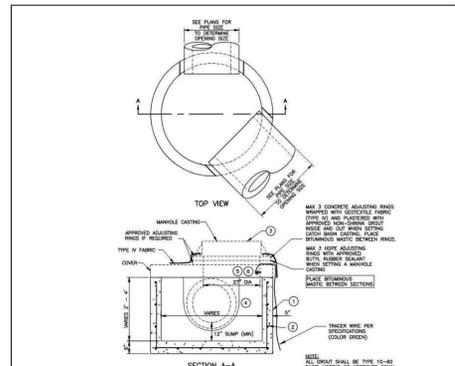




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1500 W. WASHINGTON ST., SUITE 110, BRIGHTON, MN 55110
TEL: 763.424.5505 FAX: 763.424.5506

CATCH BASIN DESIGN H

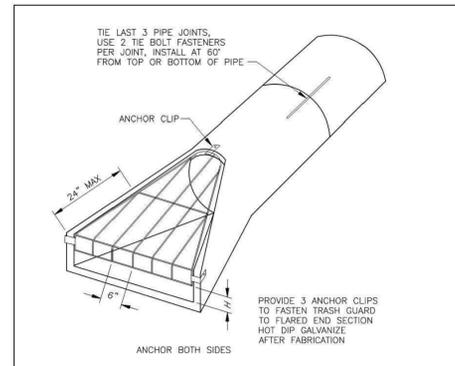
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1500 W. WASHINGTON ST., SUITE 110, BRIGHTON, MN 55110
TEL: 763.424.5505 FAX: 763.424.5506

PRECAST SHALLOW DEPTH MANHOLE/CATCH BASIN DESIGN SD

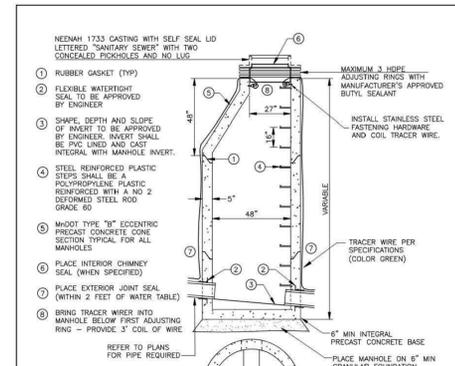
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TEL: 763.424.5505 FAX: 763.424.5506

RC APRON TRASH RACK (STEEL BARS)

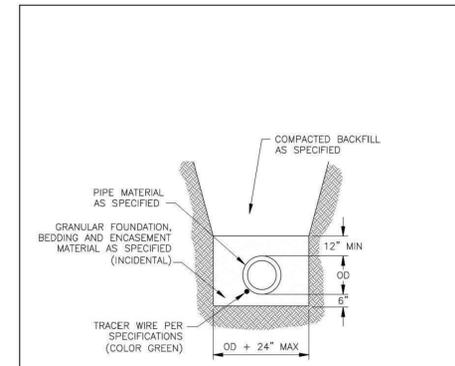
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TEL: 763.424.5505 FAX: 763.424.5506

SANITARY MANHOLE

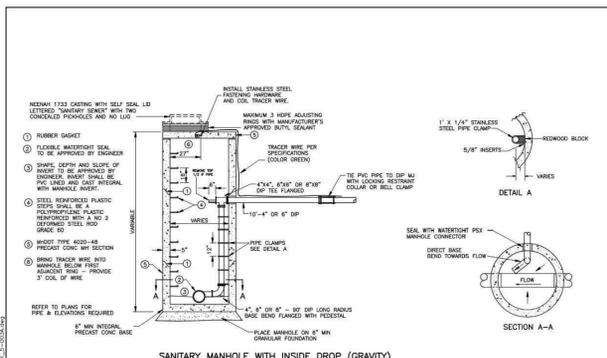
DATE: 04/2013
STD. DETAIL: 5-000



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TEL: 763.424.5505 FAX: 763.424.5506

PVC SANITARY SEWER TRENCH

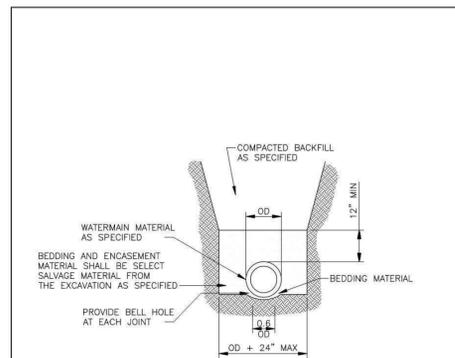
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SANITARY MANHOLE WITH INSIDE DROP (GRAVITY)

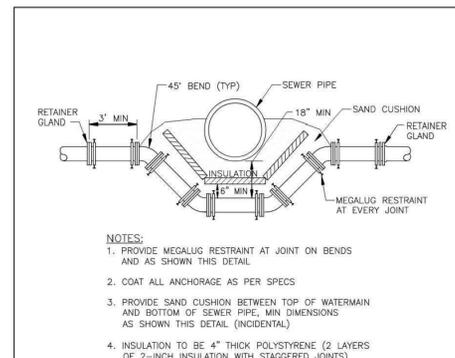
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1500 W. WASHINGTON ST., SUITE 110, BRIGHTON, MN 55110
TEL: 763.424.5505 FAX: 763.424.5506

DIP WATERMAIN TRENCH

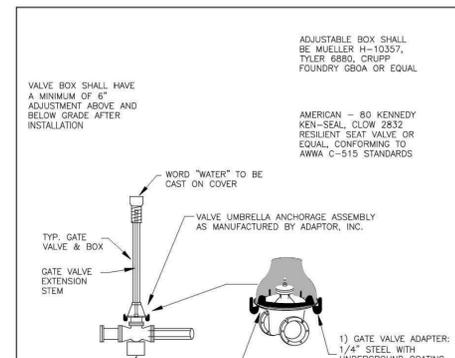
DATE: 04/2013
STD. DETAIL: 6-201



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WATERMAIN OFFSET

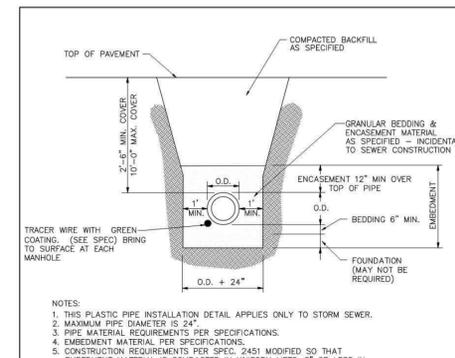
DATE: 04/2013
STD. DETAIL: 6-203



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GATE VALVE INSTALLATION

DATE: 04/2013
STD. DETAIL: 6-400



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PVC STORM SEWER TRENCH DETAIL

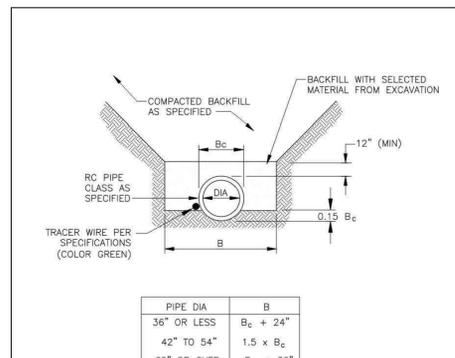
DATE: 04/2013
STD. DETAIL: 6-402



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RC PIPE CLASS "C" BEDDING

DATE: 04/2013
STD. DETAIL: 4-000



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TEL: 763.424.5505 FAX: 763.424.5506

RC PIPE CLASS "C" BEDDING

DATE: 04/2013
STD. DETAIL: 4-000

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Maple Grove, MN 55369
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SUBMITTAL/REVISIONS
06/02/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Trevor D. Grays - PE

License No. 53706
Date 06/02/20

QUALITY CONTROL
Loucks Project No. 19908
Project Lead TDG
Drawn By ZBM/MDC
Checked By TDG
Review Date 06/02/20

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CIVIL DETAILS
C8-2

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Trevor D. Grays - PE

License No. 53706

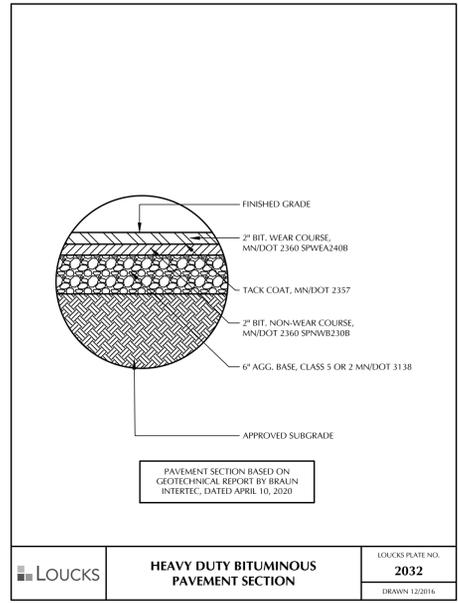
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QUALITY CONTROL

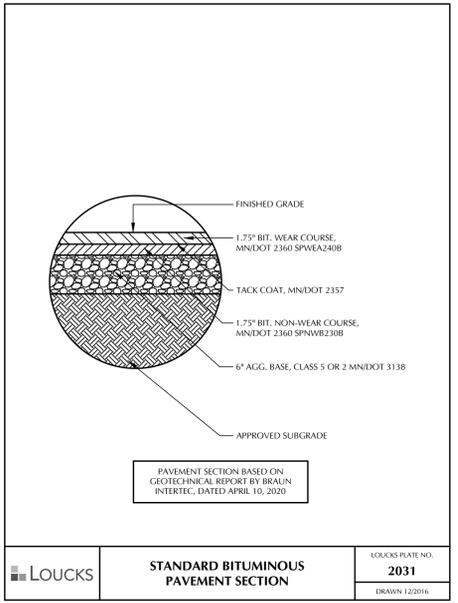
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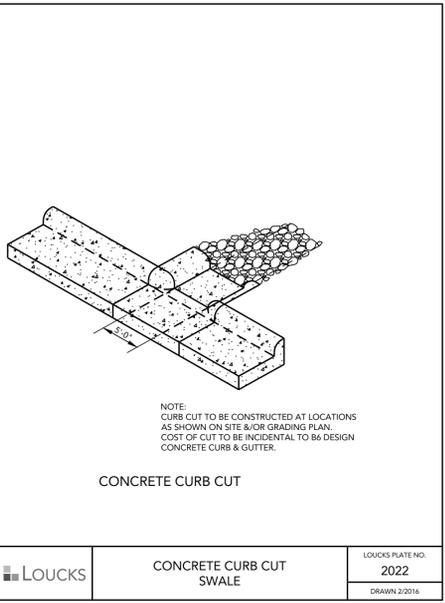
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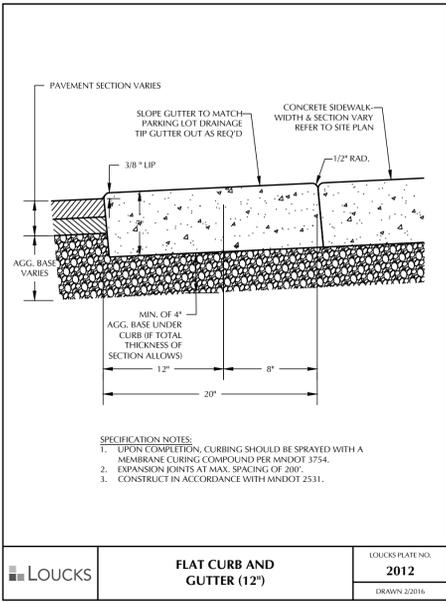
HEAVY DUTY BITUMINOUS PAVEMENT SECTION
LOUCKS PLATE NO. 2032
DRAWN 12/2016



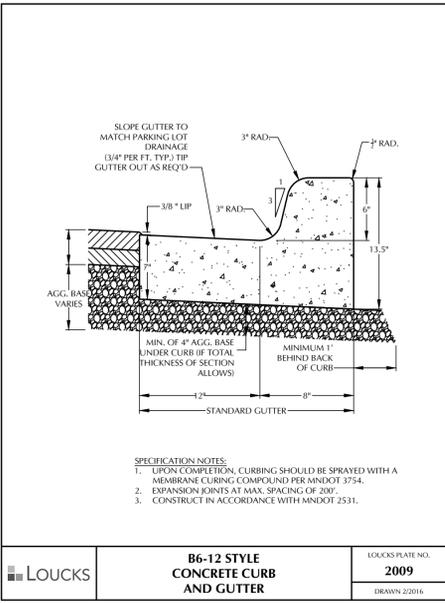
STANDARD BITUMINOUS PAVEMENT SECTION
LOUCKS PLATE NO. 2031
DRAWN 12/2016



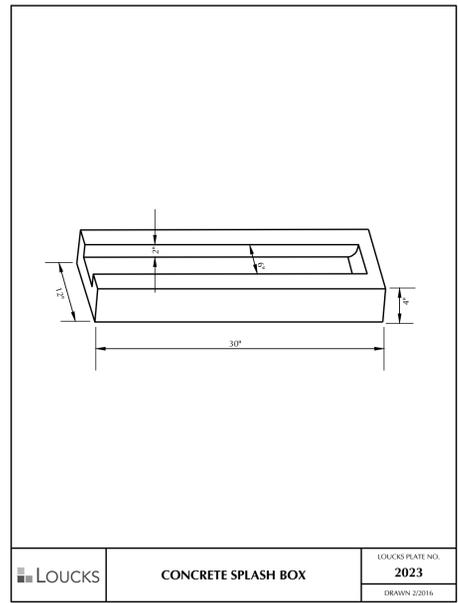
CONCRETE CURB CUT SWALE
LOUCKS PLATE NO. 2022
DRAWN 2/2016



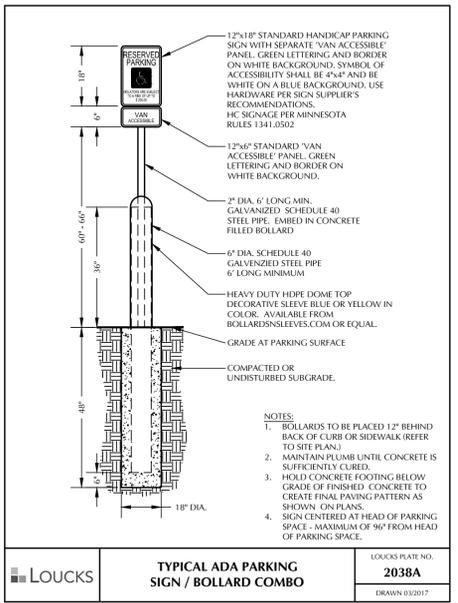
FLAT CURB AND GUTTER (12\"/>



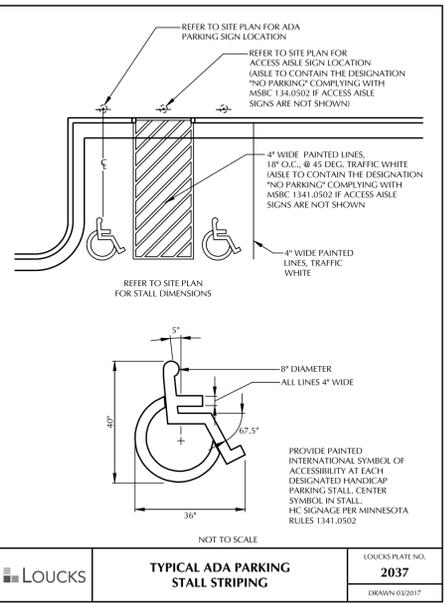
B6-12 STYLE CONCRETE CURB AND GUTTER
LOUCKS PLATE NO. 2009
DRAWN 2/2016



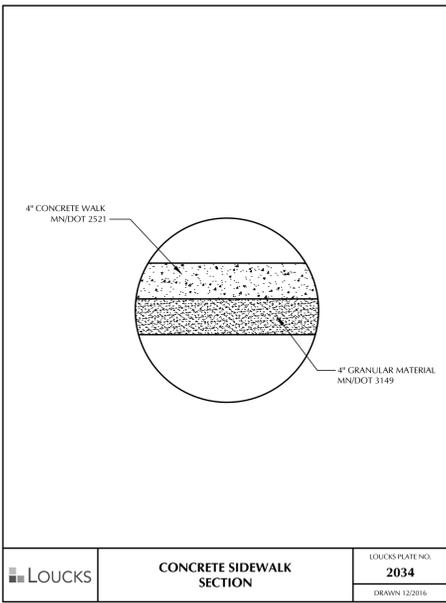
CONCRETE SPLASH BOX
LOUCKS PLATE NO. 2023
DRAWN 12/2016



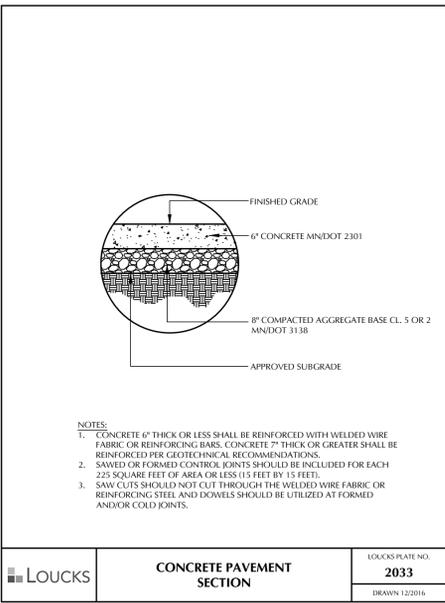
TYPICAL ADA PARKING SIGN / BOLLARD COMBO
LOUCKS PLATE NO. 2038A
DRAWN 03/2017



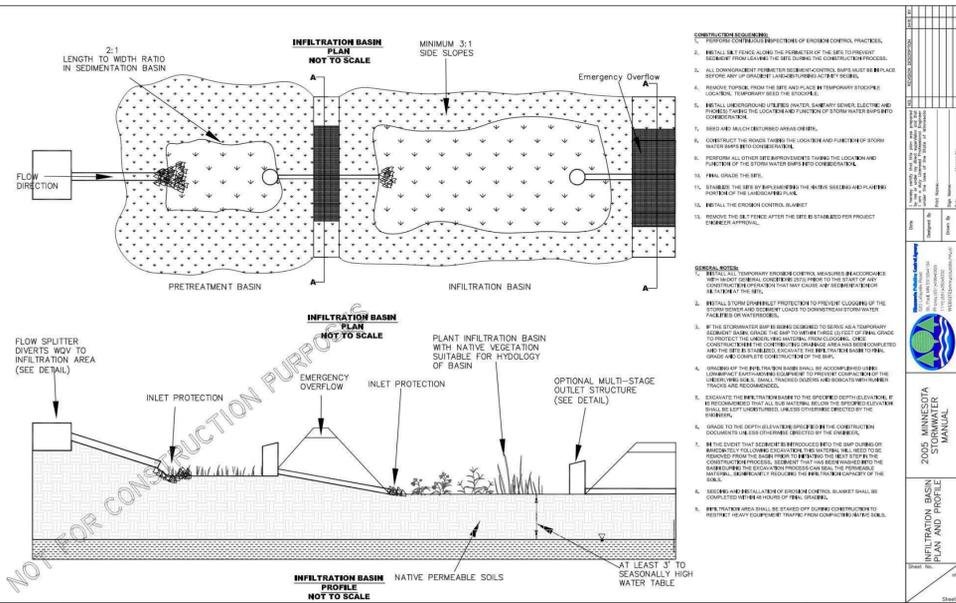
TYPICAL ADA PARKING STALL STRIPING
LOUCKS PLATE NO. 2037
DRAWN 03/2017



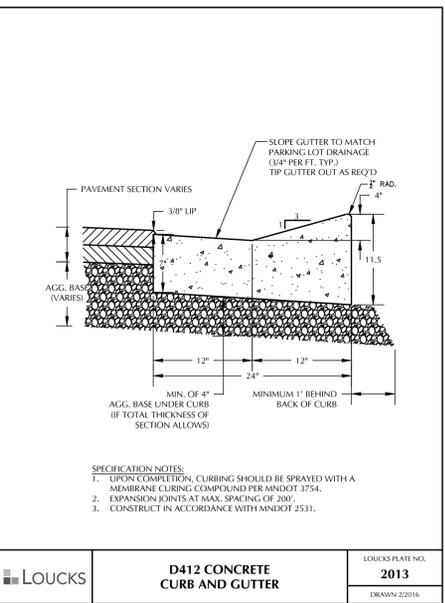
CONCRETE SIDEWALK SECTION
LOUCKS PLATE NO. 2034
DRAWN 12/2016



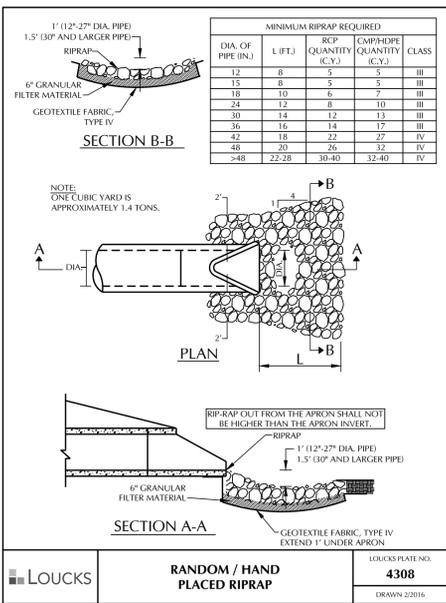
CONCRETE PAVEMENT SECTION
LOUCKS PLATE NO. 2033
DRAWN 12/2016



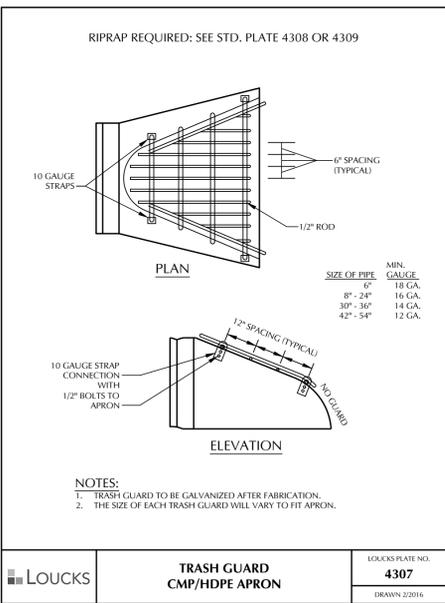
INFILTRATION BASIN PROFILE NOT TO SCALE



D412 CONCRETE CURB AND GUTTER
LOUCKS PLATE NO. 2013
DRAWN 2/2016



RANDOM / HAND PLACED RIPRAP
LOUCKS PLATE NO. 4308
DRAWN 2/2016



TRASH GUARD CMP/HDPE APRON
LOUCKS PLATE NO. 4307
DRAWN 2/2016

PLANT SCHEDULE						
DECIDUOUS TREES						
AE	7	ACCOLADE ELM	Ulmus 'Morton'	B & B	2.5" Cal	
SKH	3	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycole'	B & B	2.5" Cal	
QB	3	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal	
WB2	2	WHITESPIRE BIRCH CLUMP	Betula populifolia 'Whitespire Sr.'	B & B	8' HGT	
EVERGREEN TREES						
BS	3	BLACK HILLS SPRUCE FULL FORM	Picea glauca 'Densata'	B & B	6' HGT	
SHRUBS						
AH	4	ANNABELLE HYDRANGEA	Hydrangea arborescens 'Annabelle'	5 gal	24" HGT	48" o.c.
AC	13	AUTUMN MAGIC CHOKEBERRY	Aronia melanocarpa 'Magic Carpet'	5 gal	24" HGT	48" o.c.
GAC	18	GREEN MOUND ALPINE CURRANT	Ribes alpinum 'Green Mound'	5 gal	24" HGT	48" o.c.
GF	11	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal	24" SPRD	48" o.c.
CONIFEROUS SHRUBS						
SG	12	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	5 gal	18" SPRD	60" o.c.
GROUND COVERS						
	NS	NATIVE SEED MIX STORMWATER SOUTH & WEST BWSR SEED MIX - #33-261. APPLY PER MNDOT SEEDING MANUAL				
	NS2	NATIVE SEED MIX NATIVE CONSTRUCTION BWSR SEED MIX - #32-241. APPLY PER MNDOT SEEDING MANUAL				
	SM 1	STONE MULCH WASHED GREY TRAP ROCK 2.5" 3" DEPTH OVER FABRIC				
	SEED	TURF SEED				
	WM 1	WOOD MULCH SHREDDED HARDWOOD BARK MULCH				

GENERAL NOTES:

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

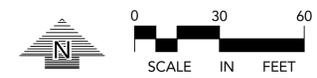
THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.

LANDSCAPE REQUIREMENTS:

1 TREE REQUIRED PER DWELLING UNIT
34 UNITS

34 TREES REQUIRED OR 17 TREES & 51 SHRUBS
(50% CAN BE ORNAMENTAL TREES OR SHRUBS AT A RATE OF 3:1)

TOTAL TREES PROVIDED - 18
TOTAL SHRUBS PROVIDED - 51



NOTE:
EXISTING CONDITIONS INFORMATION SHOWN IS FROM A BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY LOUCKS, DATED MARCH, 2020.

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BIG LAKE, MINNESOTA

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SUBMITTAL/REVISIONS

06/02/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Nathan W. Ekhoff - LA
License No. 52050
Date 06/02/20

QUALITY CONTROL

Loucks Project No. 19908
Project Lead NWE
Drawn By NWE
Checked By NWE
Review Date 06/02/20

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- L2-2 LANDSCAPE DETAILS



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TOLL FREE: 1-800-252-1166

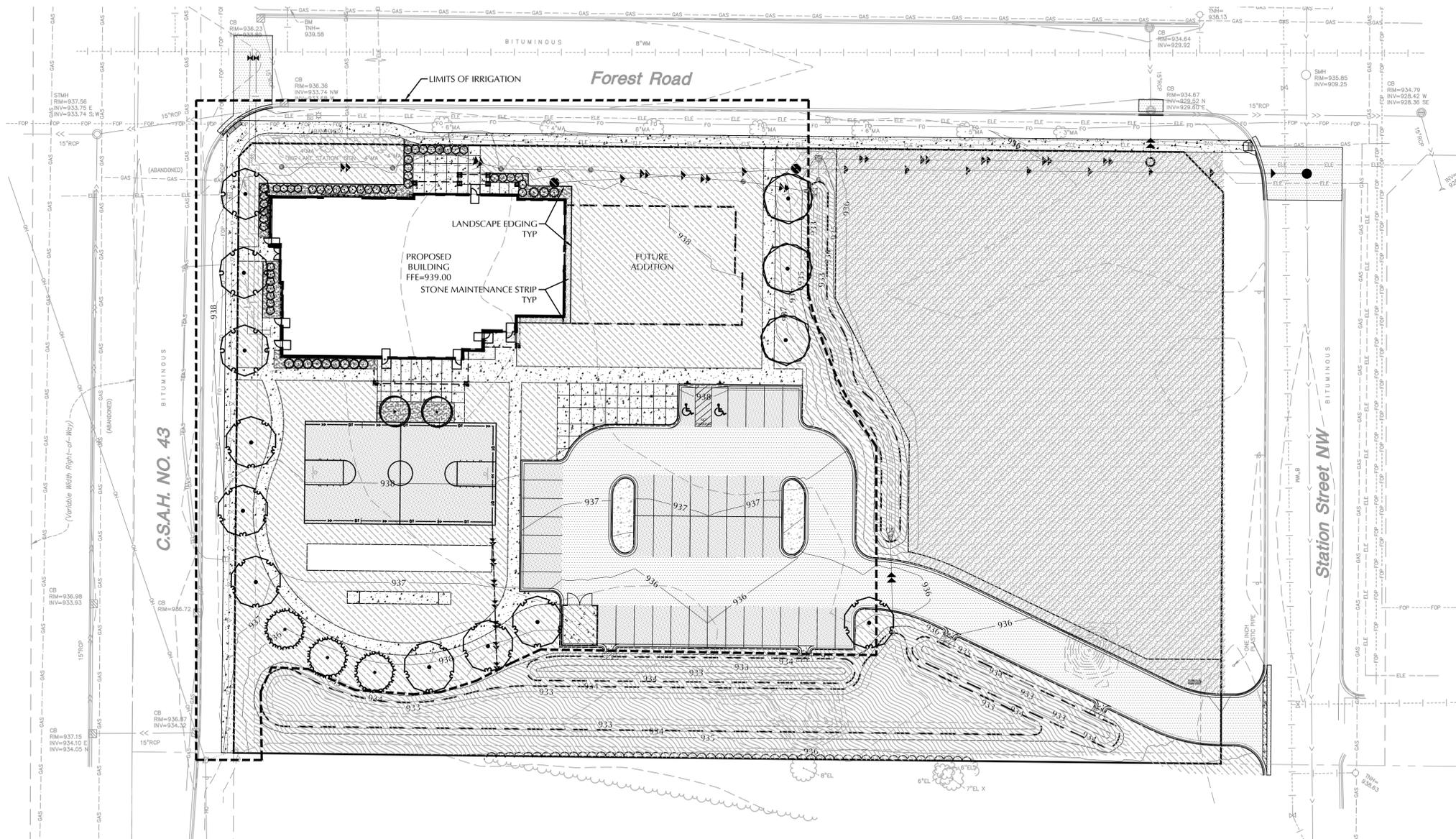
WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

LANDSCAPE PLAN

L1-1



LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. SEED SHALL BE INSTALLED AND MULCHED AS PER MNDOT SPECS.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED BY THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING PERENNIALS, GROUND COVER, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF 5 PARTS CLEAN TOPSOIL AND 1 PART PEAT. SHRUBS AND TREES TO BE BACKFILLED WITH SAME PLANTING SOIL.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

IRRIGATION NOTES:

VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SODDED/SEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING/SOD/SEED HAS BEEN ESTABLISHED.

BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER. ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER. ALL TREES TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

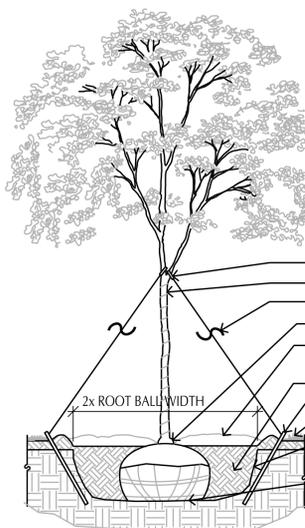
WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

PROTECT ALL EXISTING OAKS ON SITE SCHEDULED TO REMAIN. IF EXISTING OAKS ARE DAMAGED IN ANY MANNER, ABOVE OR BELOW GROUND IN THE ROOT SYSTEM, AN ASPHALTIC TREE PRUNING PAINT SHOULD BE APPLIED IMMEDIATELY AFTER WOUNDING. OAKS ARE NOT TO BE PRUNED, REMOVED OR TRANSPLANTED BETWEEN APRIL 15 AND JULY 1. NOTIFY LANDSCAPE ARCHITECT IF THESE DATES ARE UNAVOIDABLE.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.



X
XX DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"
Deciduous Tree.DWG

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES.

PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE.

CUT BACK WIRE BASKET

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP

TREE WRAP TO FIRST BRANCH

SAFETY FLAGGING - ONE PER WIRE

ROOT FLARE EVEN WITH OR JUST ABOVE GRADE.

MULCH - 4" DEEP. NO MULCH IN CONTACT WITH TRUNK - SEE NOTES OR SPECS.

BACKFILL WITH IN SITU TOPSOIL

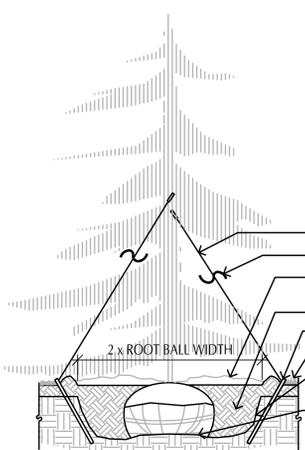
WOOD STAKE (OPTIONAL)

EDGE VARIES - SEE PLAN

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

SET PLANT ON UNDISTURBED NATIVE SOIL

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.



X
XX CONIFEROUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"
Coniferous Tree.DWG

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES.

PRUNE ANY DAMAGED BRANCHES AFTER PLANTING IS COMPLETE.

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP

SAFETY FLAGGING - ONE PER WIRE

MULCH - 4" DEEP - SEE NOTES OR SPECS. MULCH MUST NOT BE IN CONTACT WITH TRUNK.

BACKFILL WITH IN SITU TOPSOIL

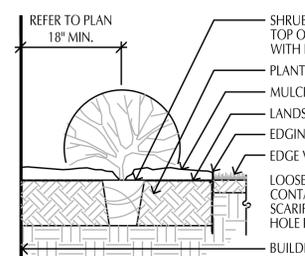
WOOD STAKE (OPTIONAL)

EDGE VARIES - SEE PLAN

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

ROOT BALL SET ON UNDISTURBED SUBGRADE

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.



X
XX SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"

REFER TO PLAN 18" MIN.

SHRUBS TO BE PLACED SO THAT TOP OF CONTAINER SITS FLUSH WITH PROPOSED GRADE.

PLANTING SOIL - SEE NOTES OR SPEC.

MULCH - 3" DEPTH - SEE NOTES OR SPEC.

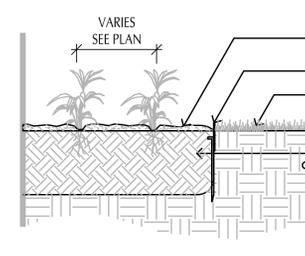
LANDSCAPE FABRIC - SEE NOTES OR SPEC.

EDGING MATERIAL - SEE NOTES OR SPEC.

EDGE VARIES - REFER TO PLAN

LOOSEN ROOTS OF ALL CONTAINERIZED PLANTS. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

BUILDING WALL (TYP)



X
XX PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"
Perennial.Dwg

VARIES SEE PLAN

MULCH - 3" MIN. DEPTH - SEE NOTES OR SPECS.

EDGER - SEE NOTES OR SPECS.

EDGE VARIES - SEE PLAN

12" DEPTH (MIN.) LOAM PLANTING SOIL - SEE NOTES OR SPECS.

LOOSEN ROOTS OF PLANT MATERIAL PRIOR TO PLANTING

Plotted: 06/02/2020 5:26 PM W:\2019\19908\CADD\DATA\LANDSCAPE.dwg Sheet: File:L2-1 LANDSCAPE DETAILS

BIG LAKE TREATMENT CENTER
BIG LAKE, MINNESOTA

BRIGHTON PROFESSIONAL BUILDING
1900 SILVER LAKE ROAD SUITE 110
NEW BRIGHTON, MN 55112

LOUCKS
PLANNING
CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL
7200 Hemlock Lane, Suite 300
Maple Grove, MN 55369
763.424.5505
www.louckscinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

06/02/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Nathan W. Ekhoff - LA
License No. 52050
Date 06/02/20

QUALITY CONTROL

Loucks Project No. 19908
Project Lead NWE
Drawn By NWE
Checked By NWE
Review Date 06/02/20

SHEET INDEX

C1-1	EXISTING CONDITIONS
C1-2	DEMOLITION PLAN
C2-1	SITE PLAN
C3-1	GRADING PLAN
C3-2	SWPPP
C3-3	SWPPP NOTES
C4-1	UTILITY PLAN (STORM SEWER)
C4-2	UTILITY PLAN (SANITARY SEWER & WATERMAIN)
C8-1	CIVIL DETAILS
C8-2	CIVIL DETAILS
C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS
L2-2	LANDSCAPE DETAILS

LANDSCAPE DETAILS
L2-1

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SUBMITTAL/REVISIONS

06/02/20 CITY SUBMITTAL

PROFESSIONAL SIGNATURE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

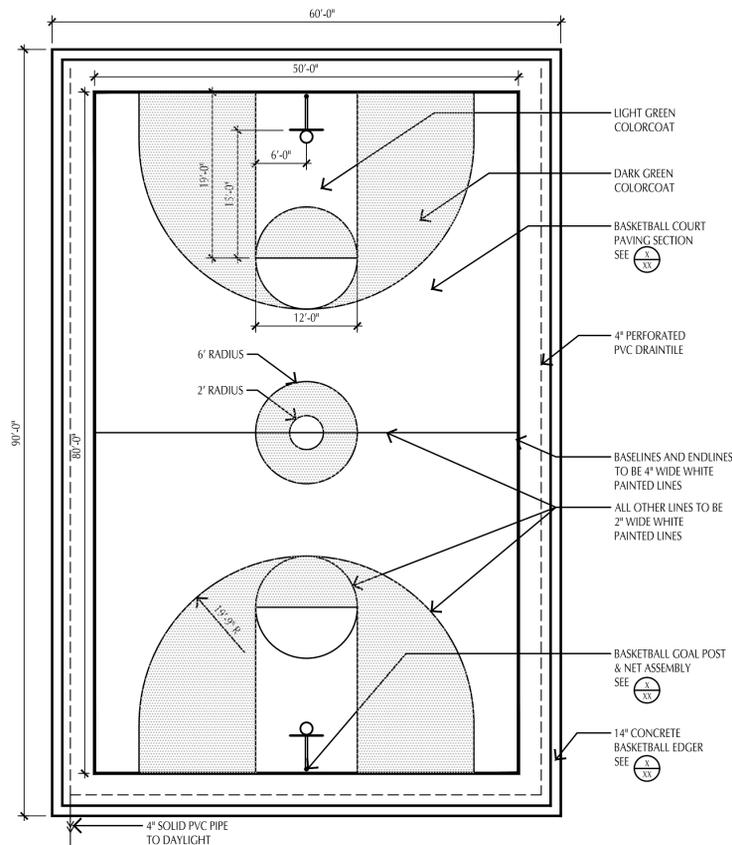
Nathan W. Ekhoff - LA
License No. 52050
Date 06/02/20

QUALITY CONTROL

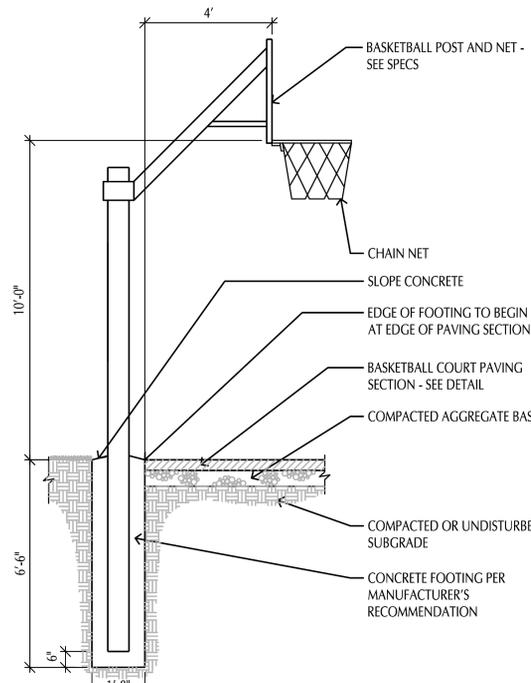
Looucks Project No. 19908
Project Lead NWE
Drawn By NWE
Checked By NWE
Review Date 06/02/20

SHEET INDEX

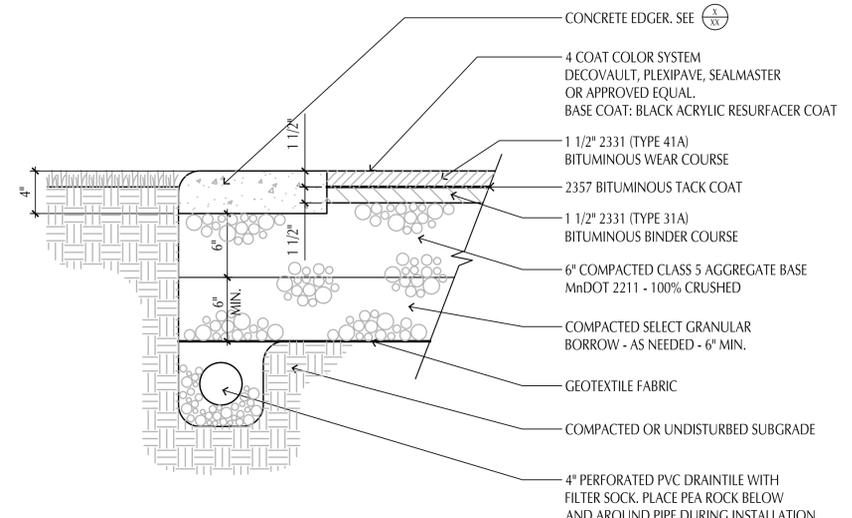
C1-1	EXISTING CONDITIONS
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C8-3	CIVIL DETAILS
L1-1	LANDSCAPE PLAN
L2-1	LANDSCAPE DETAILS
L2-2	LANDSCAPE DETAILS



BASKETBALL COURT LAYOUT
SCALE: 1" = 10'-0"



BASKETBALL GOAL POST & NET ASSEMBLY
SCALE: 3/8" = 1'-0"



BASKETBALL COURT PAVING SECTION
SCALE: 1 1/2" = 1'-0"

CADD QUALIFICATION

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SUBMITTAL/REVISIONS

04/02/2020 SURVEY ISSUED

PROFESSIONAL SIGNATURE

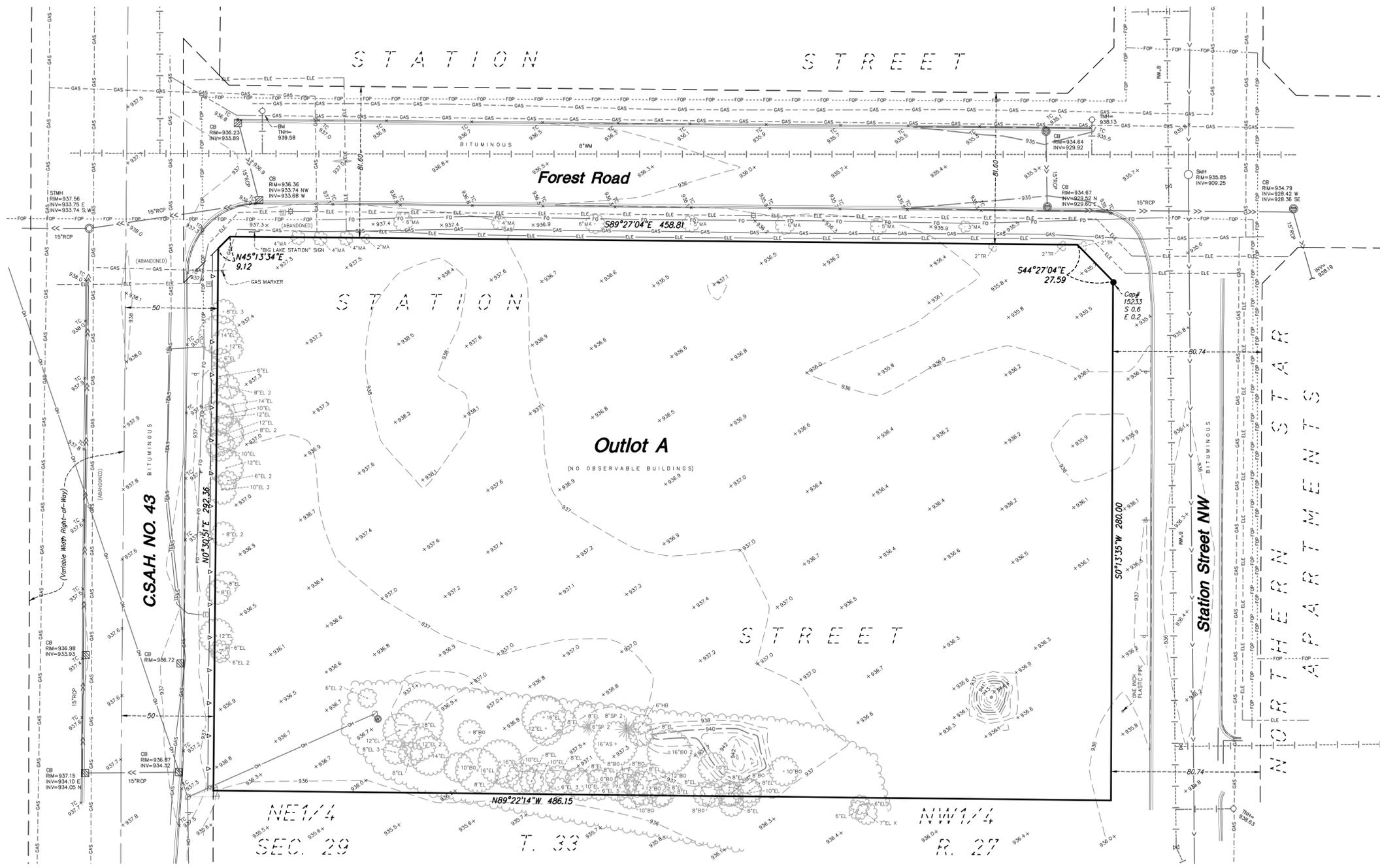
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Max L. Stanslawski
License No. 48988
Date 04/02/2020

QUALITY CONTROL

Loucks Project No. 19908
Project Lead MLS
Drawn By NRS
Checked By MLS
Field Crew CMS

VICINITY MAP



LEGEND

- FOUND OPEN IRON MONUMENT UNLESS SHOWN OTHERWISE
- ⊗ CATCH BASIN
- ⊙ STORM MANHOLE
- SANITARY MANHOLE
- ⊕ HYDRANT
- ⊕ GATE VALVE
- ⊕ POWER POLE
- ⊕ GUY WIRE
- ⊕ HAND HOLE
- ⊕ UTILITY PEDESTAL
- ⊕ TELEPHONE PEDESTAL
- ⊕ SIGN
- ⊕ WATER MANHOLE / WELL
- > STORM SEWER
- > SANITARY SEWER
- WATERMAIN
- MAPPED WATERMAIN
- ELE UNDERGROUND ELECTRIC
- MAPPED UNDERGROUND ELECTRIC
- FO UNDERGROUND FIBER OPTIC
- MAPPED UNDERGROUND FIBER OPTIC
- GAS UNDERGROUND GAS
- MAPPED UNDERGROUND GAS
- TEL UNDERGROUND TELEPHONE
- OH OVERHEAD UTILITY
- CHAIN LINK FENCE
- RESTRICTED ACCESS
- CONCRETE CURB
- CONTOUR
- SPOT ELEVATION
- TREE LINE
- CONIFEROUS TREE
- SPRUCE
- DECIDUOUS TREE
- AS ASH
- BO BOXELDER
- EL ELM
- HB HACKBERRY
- MA MAPLE
- TR TREE (GENERAL)

DESCRIPTION OF PROPERTY SURVEYED

Outlot A, STATION STREET, Sherburne County, Minnesota.

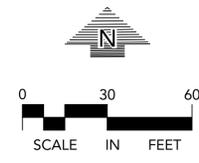
SURVEY REPORT

1. This survey was prepared without the benefit of a Title Commitment. There may or may not be easements of record encumbering this property.
 2. Lot corners should be set by Wenck Associates as part of the platting process.
 3. The Gross land area is 145,013 +/- square feet or 3.33 +/- acres.
 4. The bearings for this survey are based on the Sherburne County Coordinate System NAD 83 (1986 Adjust).
 5. Benchmark: MNDOT monument BILA MNDT RESET, located in Big Lake, 0.7 mile east along Trunk Highway 10 from the junction of Trunk Highway 10 and Trunk Highway 25 in Big Lake, at Trunk Highway 10 milepoint 204.35, 125.0 feet north of westbound Trunk Highway 10, 20.0 feet east of northbound County Road 43, 5.5 feet west of a paved trail, 13.5 feet north-northeast of a witness post.
Elevation = 937.75 (NGVD 29)
- Site Benchmark: Top nut of fire hydrant located on the north side of Forest Road east of C.S.A.H. 43.
Elevation = 939.58 (NGVD 29)

SURVEY REPORT

6. We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 200370464, 200370465, 200370513 & 200370514. The following utilities and municipalities were notified:

ARVIG	(218)346-5500	TDS TELECOM	(218)821-7672
CITY OF BIG LAKE	(763)263-2268	CHARTER COMMUNICATIONS	(800)778-9140
CONNEXUS ENERGY	(763)323-4215	CENTER POINT ENERGY	(608)223-2014
WINDSTREAM COMMUNICATIONS	(800)289-1901	XCEL ENERGY	(800)848-7558
7. Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.
8. Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.
9. Trees shown hereon are inch diameter at breast height or greater.
10. The field work was completed on February 17, 2020.
11. Snow and ice conditions during winter months may obscure otherwise visible evidence of on site improvements and/or utilities.

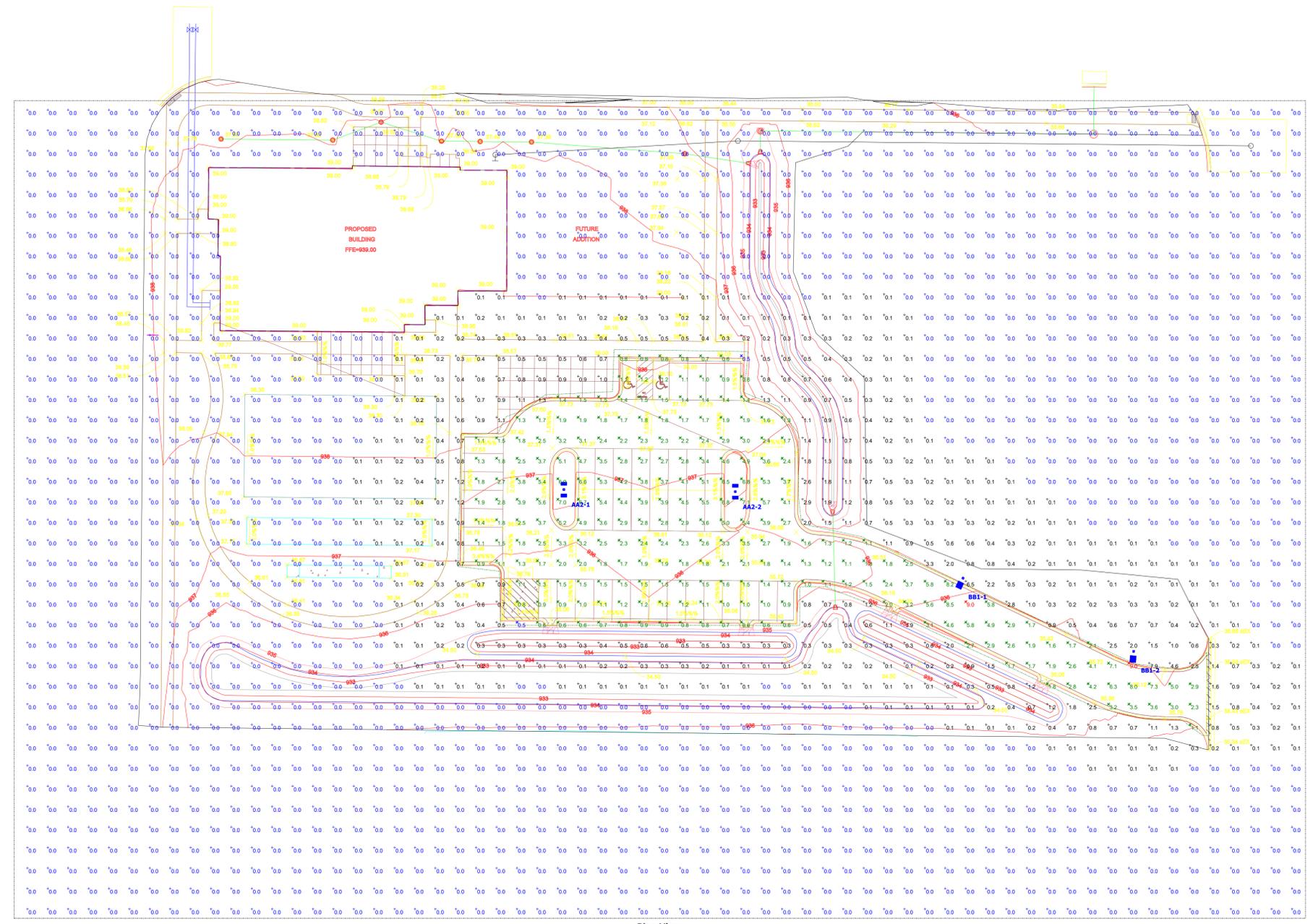


Schedule																	
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
	AA2		2	Lithonia Lighting	RSX1 LED P4 40K R4	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution		1	RSX1_LED_P4_40K_R4.ies	16573	1	0.9	266.28	100%	TYPE IV, SHORT, BUG RATING: B2 - U0 - G3		
	BB1		2	Lithonia Lighting	RSX1 LED P4 40K R2	RSX Area Luminaire Size 1 P4 Lumen Package 4000K CCT Type R2 Distribution		1	RSX1_LED_P4_40K_R2.ies	16417	1	0.9	133.1431	100%	TYPE II, SHORT, BUG RATING: B2 - U0 - G2		

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking and Drives	✕	2.6 fc	9.0 fc	0.5 fc	18.0:1	5.2:1
Total Area @ Grade	+	0.4 fc	9.0 fc	0.0 fc	N/A	N/A

Note

- Davis and Associates, Inc does not assume responsibility for the interpretation of this calculation, or compliance to local or state lighting codes and ordinances.
- All readings/calculations are shown @ grade.
- Fixtures are 25' 0" A.F.G.



Plan View
Scale - 1" = 30ft



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

June 16, 2020

Amy Barthel, City Planner
160 Lake Street North
Big Lake, MN 55309

RE: Treatment Center Preliminary Plat
City of Big Lake, Minnesota
Project No.: W18.120331

Dear Amy,

We have reviewed the Preliminary Plat and civil construction plans submitted for the above referenced project dated 6-4-2020 and have the following comments:

1. The applicant shall clarify the intent of the note indicating a drainage and utility easement over all of Outlot A.
2. The applicant shall enter into a Stormwater Maintenance Agreement for all stormwater basins on the property.
3. All storm water sedimentation and infiltration basins shall be contained within drainage and utility easements.
4. The applicant shall obtain a Right-of-Way permit from the City of Big Lake prior to construction.
5. The applicant shall provide a traffic control plan illustrating uninterrupted access along Forest Road and Station Street while excavating within them for the review of the City of Big Lake.
6. The pedestrian ramp at the intersection of CSAH 43 and Forest Road shall be constructed to direct pedestrians north across Forest Road. Modifications to the pedestrian ramp on the north side of the intersection may be required.
7. The applicant shall be responsible for striping crosswalks at the proposed pedestrian ramp locations.
8. The applicant shall be responsible for replacing all existing pavement markings damaged by construction.
9. The applicant shall clarify whether the sedimentation basins upstream of infiltration basin 1 are intended to be wet and if so, how the bottom of the basins will be sealed to retain water.
10. The stormwater basin EOFs shall be reconciled with the drainage calculations and their locations shall be clearly identified on the construction plans.
11. The applicant shall indicate whether engineered soil media will be installed within the infiltration basins. Additional detail shall be provided for the proposed infiltration basin construction. If native topsoil is proposed within the basins, it shall be tested to confirm that it does not contain more than 5% clay.
12. Non-shrink grout shall be utilized at all pipe penetrations and between all concrete adjusting rings.

Amy Barthel, City Planner

June 16, 2020

Page 2

13. All watermain shall be installed with a minimum of 8 feet of cover to the top of the pipe.
14. All gate valves shall be constructed with extension stems according to City of Big Lake standard detail 6-404.
15. No. 12 AWG tracer wire, coated green shall be installed with the proposed sanitary sewer.
16. The applicant shall provide additional detail for the proposed SANMH 1 construction. The proposed manhole shall be constructed with pre-formed inverts and boots. An inside drop will not be permitted.
17. All manhole joints located within two feet of the water table shall be wrapped according to Big Lake Standard Detail 5-008.
18. The applicant shall submit buoyancy calculations for SANMH 1.
19. The Concrete Valley Gutter detail 7-100 included on sheet C8-1 shall be removed and replaced with City of Big Lake detail 7-100R.
20. The applicant shall schedule, and their contractors working within the city right-of-way shall attend a pre-construction meeting prior to construction at the site. The pre-construction meeting date and time shall be coordinated with the City Engineer.
21. All construction shall be in accordance with the City of Big Lake Standards.
22. Revised plans shall be labeled "Final Plans for Construction" and shall be submitted to the City of Big Lake for review.

We recommend approval of the Preliminary Plat contingent on the above mentioned comments as well as comments received from city staff, commissions, and council.

If you have any questions on the above, please call.

Sincerely,

Bolton & Menk, Inc.



Jared Voge, P.E.
Principal Engineer



AGENDA ITEM

Big Lake Planning Commission

Prepared By: <i>Hanna Klimmek, Community Development Director</i>	Meeting Date: 7/1/2020	Item No. 7B
Item Description: <i>Candidate Interviews –Planning Commission Vacancy</i>	Reviewed By: <i>Amy Barthel, City Planner</i>	
	Reviewed By: <i>Clay Wilfahrt, City Administrator</i>	

ACTION REQUESTED

Conduct an interview of one candidate and make recommendation to the City Council for appointment to the one (1) vacant Planning Commission seat to serve the remainder of a current term that expires on December 31, 2022.

BACKGROUND/DISCUSSION

At the May 6, 2020 Planning Commission meeting, the Commission authorized staff to: 1) post/publish a notice to fill the one (1) vacancy, which is to serve the remainder of a current term that expires on December 31, 2022; 2) accept letters of interest; and 3) schedule candidate interviews to be held during the July 1, 2020 Planning Commission meeting.

The deadline for submitting letters of interest was Friday, June 19, 2020. A total of one submittal was received by the deadline from Shane Shatka, which is attached for your review. Also attached are the interview questions. (A hard copy of the letter of interest and interview questions will also be provided at the meeting.)

FINANCIAL IMPACT

N/A

STAFF RECOMMENDATION

Make a recommendation to the City Council for appointment to the one (1) vacancy on the Planning Commission to serve the remainder of a current term that expires on December 31, 2022.

ATTACHMENTS

Planning Commission Status of Terms
Letters of Interest from Candidates
Interview Questions

Planning Commissioner (PC) Status of Terms

(Appointment Term: 4 years)

Alan Heidemann

(Chair)

Current PC Term Expires: 12/31/2021
Re-Appointed: 01/2018
Current Title: Planning Commissioner

Ketti Green

(Vice-Chair)

Current PC Term Expires: 12/31/2023
Re-Appointed: 01/2020
Current Title: Planning Commissioner

Scott Marotz

Current PC Term Expires: 12/31/2021
Re-Appointed: 01/2018
Current Title: Planning Commissioner

Lisa Odens

Current PC Term Expires: 12/31/2022
Original Appointment: 01/2019
Current Title: Planning Commissioner

VACANT

Current PC Term Expires: 12/31/2022
Original Appointment: 06/2020
Current Title: Planning Commissioner

Dustin Vickerman

Current PC Term Expires: 12/31/2023
Original Appointment: 08/2019
Current Title: Planning Commissioner

Scott Zettervall

(City Council Liaison)

Current Council Term Expires: 12/31/2020
Original Appointment: 07/2019 (annual re-appointment by Council)
Current Title: Planning Commissioner/Council Liaison
(term as City Council Liaison ends 12/31/20)

INTERVIEW QUESTIONS - PLANNING COMMISSIONER CANDIDATES

July 1, 2020 Planning Commission Meeting

6:00 p.m. – Big Lake City Council Chambers

1.	Please explain your interest in serving on the Planning Commission.
2.	Please identify what you feel are some of the key issues facing the City in the next 5 to 10 years.
3.	What is one thing that would make Big Lake a better place to live?
4.	How much weight do you give in staff recommendation for a land use application?
5.	Are you familiar with comprehensive land use plans? How important are they to you in guiding development?
6.	Do you have any questions of staff or the Commission Members?

From: [Amy Barthel](#)
To: [Hanna Klimmek](#)
Subject: FW: Planning Commission vacancy
Date: Monday, June 22, 2020 8:59:00 AM

Amy Barthel
City Planner
City of Big Lake
763-251-2977

From: Shane <73shaner@gmail.com>
Sent: Friday, June 19, 2020 3:29 PM
To: Amy Barthel <ABarthel@Biglakemn.org>
Subject: Planning Commission vacancy

Amy Barthel,

I'm interested in the vacancy in the Planning Commission. I've lived in Big Lake for 11 years and I own a home here. I work here and shop here, so I do have a vested interest in Big Lake. I plan on it being my home for many years into the future. I'm fair minded and interested in our community. My schedule and life would allow for my participation and informed involvement on our issues in our area. I'm good with people and thinking outside the box. I look forward to seeing our town grow, and I think it's coming. This is my way of giving something extra to our community.

Sincerely,

Shane Shatka / Resident
763-370-9471 cell ph#